



# BELLA VISTA

*A place to call home*

**MEETING: REGULAR CITY COUNCIL MEETING**

**DATE AND TIME: Monday, February 22, 2016 – 6:30 P.M.**

Bella Vista American Legion Post 341  
1889 Bella Vista Way (Hwy 71 & Kingsland Rd)  
Bella Vista, Arkansas

- I. **CALL TO ORDER:** This meeting has been given public notice in accordance with the Section 25-19-106 of the Freedom of Information Act, in such form that will apprise the general public and news media of subject matter that is intended for consideration and action.
- II. **INVOCATION** – Pastor Jaimie Alexander. First United Methodist Church of Bella Vista.  
\*\*\* (See disclaimer below)
- III. **PLEDGE OF ALLEGIANCE:**
- IV. **ROLL CALL:** Mayor Peter Christie, Aldermen Frank Anderson, John Flynn, Allen King, Becky Morgan, James Wozniak and Larry Wilson
- V. **CITIZEN INPUT/PUBLIC APPEARANCES:** *Please be advised that it is the policy of the municipality that there will be a three minute time period, per person, with time extension per the Chief Presiding Officer's discretion; be further advised that there may be limited discussion on the information received, but no response or action will be made under public comment.*
- VI. **APPROVAL OF MINUTES:** January 25, 2016
- VII. **REPORTS:**
  - A. Monthly Financial Report – January, 2016
  - B. Motion to Approve Finance Report-
- VIII. **MOTION TO SUSPEND RULES:** and read all proposed ordinances and resolutions on the agenda by title only.
- IX. **NEW BUSINESS:**

- A. ORDINANCE NO. - AMENDING THE CODE OF ORDINANCES OF THE CITY OF BELLA VISTA TO ESTABLISH A BELLA VISTA ARTS COUNCIL, TO DEFINE ITS MEMBERSHIP, PURPOSE, POWERS AND DUTIES, AND FOR OTHER PURPOSES. Third and final reading.**
- B. ORDINANCE NO. - ACCEPTING AND CONFIRMING RIGHTS-OF-WAY DEDICATED TO THE PUBLIC FOR MEMORIAL DRIVE, AND FOR OTHER PURPOSES. Third and final reading.**
- C. ORDINANCE NO- AMENDING THE CODE OF ORDINANCES OF THE CITY OF BELLA VISTA TO PROVIDE FOR AN ELECTRONIC FUNDS PAYMENT POLICY.(Move to third and final)**
- D. ORDINANCE NO- AMENDING THE CITY OF BELLA VISTA ZONING ORDINANCE AND MAP BY REZONING CERTAIN LANDS COMMONLY KNOWN AS BENTON COUNTY PARCELS 16-70216-002 AND 16-70226-001 FROM R-1 (RESIDENTIAL SINGLE FAMILY) AND A PORTION OF BENTON COUNTY PARCEL 16-70222-000 FROM P-1 (OPEN SPACE) TO PZD (PLANNED ZONING DISTRICT) FOR THE COUNTRY CLUB VILLAS DEVELOPMENT, AND FOR OTHER PURPOSES.(Move to third and final)**
- E. RESOLUTION – APPOINTING DOUG FARNER TO POSITION 1 ON THE PLANNING COMMISSION.**
- F. RESOLUTION - AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH SUPERIOR AUTO GROUP OF SILOAM SPRINGS, PURSUANT TO A STATE PROCUREMENT CONTRACT, FOR THE PURCHASE OF THREE (3) FORD INTERCEPTOR SPORT-UTILITY VEHICLES, TWO (2) DODGE CHARGER PURSUIT VEHICLES AND ONE (1) CHEVROLET EQUINOX ALL-WHEEL DRIVE VEHICLE, IN THE AMOUNT OF \$145,850.00, PLUS \$39,150.00 FOR EQUIPMENT ADD-ONS, FOR USAGE BY THE POLICE DEPARTMENT.**
- G. RESOLUTION- SETTING VENDOR FEES FOR ACCESS TO THE BELLA VISTA FARMER’S MARKET FOR 2016.**
- H. RESOLUTION- ADJUSTING THE 2016 OPERATING BUDGET FOR GENERAL IMPROVEMENT FUND GRANT PROGRAM REVENUE, AND FOR OTHER PURPOSES.**
- I. RESOLUTION- AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH HOOTEN EQUIPMENT COMPANY IN THE AMOUNT OF \$186,760.29 FOR THE CONSTRUCTION OF FUEL DEPOT FACILITIES AT THE NEW STREET DEPARTMENT BUILDING.**

- J. RESOLUTION-** AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH 1<sup>ST</sup> EMPLOYMENT STAFFING IN AN AMOUNT NOT TO EXCEED \$66,500.00 TO PROVIDE PERSONNEL FOR SEASONAL RIGHT-OF-WAY MOWING
- K. RESOLUTION-** AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH SCOTT EQUIPMENT COMPANY IN THE AMOUNT OF \$32,789.00 FOR THE PURCHASE OF A NEW ASPHALT ROLLER.
- L. RESOLUTION-** AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH ADMIRAL EXPRESS IN AN AMOUNT NOT TO EXCEED \$28,000.00 FOR THE PURCHASE OF FURNITURE FOR THE NEW STREET DEPARTMENT BUILDING.

## **DISCUSSION –**

### **MEETINGS AND ANNOUNCEMENTS:**

- The next City Council Work Session will be Monday March 21, 2016 at 5:30PM in the City Hall Conference Room.
- The next Regular meeting of the City Council, Monday March 28, 2016 at 6:30 PM at the Bella Vista American Legion Hall.
- Planning Commission Work Session will be Thursday March 3, 2016 at 4:30PM in the City Hall conference room.
- Planning Commission Regular Meeting will be March 14, 2016 at 6:45PM in the City Hall conference room.
- Public Safety Committee Meeting will be March 9 at 9:00AM in the City Hall Conference room.

### **ADJOURNMENT**

\*\*\* Please note: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request this service, please contact the City Clerk at 479-876-1255.

\*\*\* Any invocation that may be offered at the start of the Council meeting shall be the voluntary offering of a private citizen, to and for the benefit of the Council. The views or beliefs expressed by the invocation speaker have not been previously reviewed or approved by the Council and do not necessarily represent the religious beliefs or views of the Council in part or as a whole. No member of the community is required to attend or participate in the invocation and such decision will have no impact on their right to actively participate in the business of the Council. Copies of the policy governing invocations and setting forth the procedure to have a person deliver an invocation are available upon request submitted to the Bella Vista City Clerk.

## **Minutes of the Bella Vista City Council Meeting January 25, 2016**

**Call to Order-** Mayor Christie called the meeting to order at 6:30PM

**Invocation** was given by Pastor Mark Voll of Village Bible Evangelical Free Church

**Pledge of Allegiance** was recited.

**City Clerk** Jertson called the roll of Council; Alderman Anderson, Flynn, King, Morgan & Wozniak were in attendance. Alderman Wilson was absent. Quorum was reached.

**Citizen Input:** Dawn Harpell, 17 Miller Dr spoke about the need for improvement on Sunset Dr. She feels that the road needs to be widened and improvement to the shoulders of the road. She asked the cities assistance in addressing this issue.

Linda Lloyd, 102 Fairway Dr. spoke in support of the zoning of the Marina to C-2 classification. She feels it is one of the most valuable commercial properties in the City.

Tom Judson, 98 Clubhouse Dr. spoke also about the Marina rezoning. Tom is the new General Manager of the POA and believes that the development and use of the Marina property is key to the POA and cities future.

### **Approval of Minutes:**

December 21, 2015 minutes were approved after a motion by Alderman Anderson, seconded by Alderman Morgan. 5 ayes, 0 nays.

January 8, 2016 minutes were approved. Motion by Alderman Anderson, seconded by Alderman Wozniak. 5 ayes, 0 nays.

**Election of Chairmen Pro Tem:** Alderman Flynn was nominated and elected by voice vote.

**State of the City Report** was given by Mayor Christie.

### **MAYOR'S ANNUAL REPORT TO THE BELLA VISTA CITY COUNCIL**

#### **FOR THE YEAR 2015**

#### **AS REQUIRED BY STATE STATUTE 14-58-302**

#### **25 JANUARY 2016**

The overall financial picture for the City remains positive. Revenue for the General Fund increased \$1.9 million (15.4%) over 2014 totals, with 2015 actuals exceeding the budget by \$1.8 million (14%). The majority of the increase was driven by sales tax, property tax (which includes the increased mill rate approved by voters in September 2014 for fire and police pensions) and ambulance service. Unlike the previous year, franchise fees remained relatively flat for 2014 — \$1.8 million.

There continues to be a marked year-over-year increase in ambulance revenue. In 2015, revenue increased \$373,478 (19%) which reflects 806 more calls (20%) than 2014. In 2014, EMS calls increased by 487 calls compared to 2013 (17%). A review of demographics reveals that the majority of our patients are over 70 years of age. However, there has been a gradual increase of younger patients, which reflects the changing demographics of the city. The increase is due, in part, to the Affordable Care Act providing more

people access to medical insurance coverage for EMS, as well as the transfers out of the new Mercy free-standing ER facility.

Year-over-year, expenses in the General Fund have shown an increase of 6%. This comparison includes two large capital expenditures in both years — \$2.3 million in 2014 for the purchase of land and a building from the Bella Vista Property Owners Association and two parcels of land along Highway 279 for a new Streets facility and Fire Station #4, and \$2.2 million in 2015 as we began construction on those two buildings.

The city's reserve was \$6.5 million on January 1, 2015. On December 31, 2015 it was \$7.0 million. At one point during the year, reserves reached \$8.3 million. The construction of Fire Station #4 and the Streets building reduced the reserves. The 2016 plan is to continue to pay cash for Fire Station #4 and one-half the new Streets building through our reserves and revenues. The remaining half of the Streets building and \$800,000 costs for other equipment needs will be financed through a \$2.4 million loan. The use of this financing and the additional 1-mill increase approved by council in October will allow us to allocate more money towards street repair in 2016.

On March 29, 2015, a major fire destroyed our **Streets** Building on Pinion Drive. The insurance adjusters declared 14 vehicles a total loss. Fortunately, our insurance coverage through the Arkansas Municipal League covered most of the vehicle loss at replacement value. However, it did not fully cover the costs of equipment under \$1,000. One bright note is that our Street Superintendent purchased five vehicles back for considerably less than the cost of new vehicles, and was able to refurbish them and place them back into service. As a result, we now have three additional trucks and two additional mowers in our fleet. In the spring, Council approved a contract with Greenberg Farrow to inspect and provide a rating for all 550 miles of roads within the 45 square miles of the city. The result was 292 miles (53%) in good condition. Excluding the 71 miles of unimproved roads within the city, the balance of 186 miles were found in various conditions – fair, critical and lost. A Street Committee began the task of addressing this situation by developing a long-range Pavement Management Plan. In 2015, we resurfaced 28.3 miles of city. In addition, we improved 60 miles of city street drainage. We partnered with Benton County to widen and pave Commonwealth Drive. This project required an additional appropriation of \$100,000 for material, and the county covered the cost of labor and equipment. This improvement links up with other 2015 county paving/resurfacing projects, namely Looney and Jack Crabtree Roads, improving the access to Bella Vista on the east side. Another bright note within the Streets operation was the receipt of a long-awaited FEMA payment of \$249,026 for 2011 and 2013 flooding damage. There remains an outstanding balance \$48,973 of those funds.

In 2015 the Building and Planning Division changed its name to the **Community Development Services** Department. In December they moved from Town Center West to new offices located at 616 W. Lancashire Blvd. The Department issued 1,395 building and planning permits, representing a 21% increase over the previous year. This is a continued upward trend that has been evident since 2011. Construction activity in the city continues at a brisk pace with 68 new home permits with a valuation of \$18.6 million. This represents a 33% increase for new housing starts over 2014. After meeting with builders in the spring, the department embarked on a program to cross train all employees working with the builders to increase the depth of knowledge of city ordinances. In addition, since that meeting the department has decreased the average time for residential housing permits from six days in 2014 to two days in 2015. The eventual goal is one-day turnaround. Four new commercial permits were issued in 2015 compared to two in 2014

– T.H. Rogers, Village Bible Church, city Streets Department and Fire Station #4. The department facilitated the adoption of two key long-term policy documents in 2015. The Northwest Arkansas Regional Bicycle and Pedestrian Master Plan and Bella Vista’s Community Action Plan were adopted by City Council in January. The department also participated in the partnership negotiations with the Bella Vista POA, Cooper Communities and the Walton Family Foundation to lay the legal groundwork for the 150 miles of trails planned for Bella Vista over the next 10+ years, including an extension of the Razorback Regional Greenway trail. All legal agreements were completed and adopted by all partners, including City Council, in the fall.

Code enforcement increased in 2015 with the hiring of a new Code Enforcement Officer. In addition, the Code Enforcement Officers were trained by police and our legal department to issue citations, rather than call upon a Police Officer to do so. There have been many other projects completed in 2015 and work in progress through 2016, including the annexation of the Wonderland Cave into Bella Vista, rezoning applications, Storm Water Management compliance, trailheads and crosswalks for the proposed biking and hiking trails, as well as engineering the Mercy bridge widening project and reconfiguring the portion of Riordan Road from U.S. 71 to the former Iberia Bank building.

Aside from the increase in EMS activity and beginning construction on Fire Station #4, our **Fire Department** took delivery of a new 2016 KME custom pumper for the east side fire station. The department worked with Cooper Elementary challenging the students to propose names for the new truck. The winning name was “Fire Destroyer.” The students were invited to Fire Station #1 to celebrate the arrival of the new truck and have their picture taken sitting in the cab, and then have lunch with the firefighters. Another KME customer pumper is on order for 2016 delivery to Fire Station #4. We plan to work with the Gravette School District to suggest names for this truck. Other ongoing projects include the hiring of three firefighters in 2016 to complete our hiring of 12 firefighters for Fire Station #4, continued certification of our Dive Team and allocations of an ambulance to them that is being retired in 2016. In 2015 the Fire Department launched the Community Paramedic Program with Mercy Health of NW Arkansas which has been well received by the community.

The **Police Department** continued its quiet and relentless efforts to keep Bella Vista one of the safest cities in which to live. Three new officers were hired, along with a reorganization to broaden the responsibilities of the department. In 2015 a new community uniform was introduced consisting of a blue polo shirt with embroidered badges and names along with Khaki colored trousers. This “softer look” uniform, which was worn for Hay Days and the Craft Fair, has received enthusiastic support from residents. This is all part of the Police Department’s Outreach Program, which includes the SALT Academy for our senior residents, the annual Night Out, Public Safety Day and Shop with a Cop. In 2015 the groundwork for a Citizen’s Police Academy was completed, with the first class being offered in Q1 2016. In 2015 both the Fire and Police Department, along with our Finance Department and State Audit Team, reviewed and updated our Disaster Recovery Plan and our Business Continuity Program. The bottom line is that in 2015 Bella Vista was cited as the 3<sup>rd</sup> safest city in Arkansas (Safewise Security) and the 5<sup>th</sup> safest city in the United States (Neighborhood Scout).

Within the **Administration** group we hired a part time **Communications** Manager in July, who became full time in 2016, with the mandate to complete the change of the city logo, the construction and launch of the new city web page and to establish and continually update our social media accounts. This change has received positive comments by the community. In fact, when our proposed trails map was posted on

Facebook we received 34,000 views within two days! The incumbent is also responsible for all press releases, promotion of the city through articles, photo spreads & community events and representing the city at various events within Bella Vista and northwest Arkansas. She also participates in all planning meetings related to community events, such as trails and the new Farmers' Market to be introduced in the spring of 2016. In 2015, feature articles about Bella Vista were included in USA Today, Celebrate! magazine and 2NJoy magazine, along with other photographic and informational publications.

In 2015 our **Legal Department** made 31 court appearances in Bentonville District Court and 10 appearances in Benton County Circuit Court, related to approximately 1,365 criminal, traffic and city code enforcement cases. In addition, our attorney consults with the Police Department and the Administration on a daily basis. In 2015 we hired a part-time legal assistant to help with the case load. In 2016 we are increasing the hours for our legal assistant and I suspect we may need to move to a full time legal assistant in 2017.

2015 has been a busy year for our **HR Department**, currently only two people. They have worked through 61 employee changes, introduced a new Employee Handbook, and worked with our insurance broker to reduce the impact of a 17% increase in health care costs. Through changes in health coverage, including a new Health Savings Account, and changes in our dental provider, the department was able to reduce the increase in coverage to 12%. HR also oversees our Random Drug Screening Program, payroll, constant review of employee job descriptions and working with individual employees to resolve insurance and other HR queries. The greatest challenge facing our HR team in 2015 has been the introduction of the mandated reporting by the Affordable Care Act (ACA). Since this reporting is new throughout the nation, there is little expertise available. Our team worked closely with American Fidelity and Wroxtime to ensure the accuracy of the reporting to both the Federal Government and our employees. They have worked long and hard and have been successful. In 2016 we will be hiring an HR assistant whose primary task will be the reporting and tracking of ACA on a monthly basis.

Our **Library** has also been busy. They have had extensive IT upgrades of both hardware and software, copier replacement, a new heat pump, extensive use of social media as part of their Outreach Program to younger families and much more. New shelves will be added in 2016, along with the hiring of a Children's Librarian, extended evening hours and the introduction of a new Homebound Service for our patrons who find it difficult to travel to the Library.

In the Mayor's Annual report of 2015, a number of events and initiatives were outlined. This next section of the report discusses the outcomes.

- 2015 was Bella Vista's Centennial Year. The Bella Vista POA hosted a number of events including an afternoon and evening party prior to and during the city sponsored July 3<sup>rd</sup> fireworks display.
- We have streamlined our permitting processes within the Community Development Services department as discussed earlier in this report.
- Our biking and hiking master plans have been completed and approved. All legal agreements are in place and the first 39 miles of soft trails will be built on the east side with completion in November 2016.
- The local Stream Team unfortunately had to abandon their project of a float experience from the dams at Bella Vista to the Missouri border.

- Our streets and fire station building projects are well under way with estimated completion dates of April for Streets and May for Fire.
- We continue to work with the Bentonville School District to find locations for much needed elementary and middle schools.
- Our Disaster Recovery and Business Continuity Plans are updated and the final area law enforcement mutual aid agreement has been executed between Bella Vista and Gravette.
- Our Pavement Management Plan is operational as discussed earlier.
- New signs have been erected at the south and north entrances to the city. This was a joint City and Bella Vista POA project.
- Our Library continues to seek funding for their expansion project.
- Our revisions of the city webpage and logo and incorporation of the use of social media tools are complete.

### **Top of Mind for 2016**

- Stay on target with our Vision to be the premier destination for families to visit and live within our great city.
- Continue to develop our sense of community and our sense of place through safety, selection, service and the element of surprise. Two exciting examples of our planning towards these goals are the Farmers' Market planned for Sundays at the Mercy Bella Vista Emergency facility from April to November and the formation of a Bella Vista Arts Council.
- Keep a concentrated focus on hiking and biking trails and economic growth through partnership with the Bella Vista POA & Cooper Communities, as well as hiring an Economic Development person by March of 2016. We need to stay focused on reducing the number of streets that require urgent repair. We must be engaged with our community through public speaking opportunities and community events.
- Continue upgrading our IT infrastructure to safeguard our systems and data, as well as give our employees the tools they need to be successful serving the needs of our constituents.

In 2015 we planned and approached the crossroads boldly and with purpose. As a result, 2016 promises to be a very exciting year, with big things coming for Bella Vista's future.

**Finance Report** for December was approved. Moved by Alderman King, second by Alderman Wozniak. Roll call vote 5 ayes, 0 nays. Approved.

**Motion to Suspend the Rules** and read all Ordinances and Resolutions by Title only was made by Alderman Flynn and seconded by Alderman Morgan. Roll Call vote; 5 ayes, 0 nays.

**ORDINANCE NO.** - AMENDING THE CODE OF ORDINANCES OF THE CITY OF BELLA VISTA TO ESTABLISH A BELLA VISTA ARTS COUNCIL, TO DEFINE ITS MEMBERSHIP, PURPOSE, POWERS AND DUTIES, AND FOR OTHER PURPOSES. Second Reading. Move to third reading.

**ORDINANCE NO.**-AMENDING SECTION 109-166(a) OF THE MUNICIPAL CODE TO PROVIDE FOR STRICTER ACCESSORY STRUCTURE SETBACKS, AND FOR OTHER PURPOSES. Second Reading. Motion by Alderman Morgan seconded by Alderman Anderson to table this Ordinance and send

to the Planning Commission for their review. This was approved 5 ayes, 0 nays.

**ORDINANCE NO.** - ACCEPTING AND CONFIRMING RIGHTS-OF-WAY DEDICATED TO THE PUBLIC FOR MEMORIAL DRIVE, AND FOR OTHER PURPOSES. Second Reading. Move to third reading.

**ORDINANCE NO 2016-02** AN ORDINANCE AMENDING THE CITY OF BELLA VISTA ZONING ORDINANCE AND MAP BY REZONING CERTAIN LANDS COMMONLY KNOWN AS THE BELLA VISTA MARINA AND YACHT CLUB (PARCEL #16-70284-004) LOCATED AT 101 MARINA DRIVE FROM R-1 TO C-2, AND FOR OTHER PURPOSES. Alderman Flynn mentioned the points made by those who addressed the Council in support of this rezoning. Alderman Anderson also commented on the need for move commercial property in the city. Alderman King also added his support to this issue. Alderman Morgan spoke about concerns of what would eventually be done with this property.

At this time a motion to move this to third and final reading was made by Alderman Anderson, seconded by Alderman King. Roll call vote was taken; Alderman Morgan abstained, Alderman Flynn, King, Anderson, Wozniak voted in favor. 4 ayes, 0 nays, 1 abstention. Carried. The Mayor then read the Ordinance for the third and final time. Motion to approve by Alderman Wozniak, seconded by Alderman Anderson. Roll call vote taken; Alderman Morgan abstained, Alderman Flynn, Wozniak, King and Anderson voted aye. Adopted 4 ayes, 0 nays. 1 abstention.

**ORDINANCE NO 2016-03-** ADOPTING A PLANNING AREA MAP FOR THE CITY OF BELLA VISTA, AND FOR OTHER PURPOSES. Alderman Wozniak moved to suspend the rules and move to third and final reading. Seconded by Alderman Flynn. 5 ayes, 0 nays. At this point the Mayor read the Ordinance for the third and final time. Motion to Adopt by Alderman Anderson, seconded by Alderman Wozniak. Adopted by vote of 5 ayes, 0 nays.

**RESOLUTION R2016-01-** APPROVING A REVISED POLICY AND PROCEDURE MANUAL FOR THE BELLA VISTA POLICE DEPARTMENT. Police Chief Farmer answered a couple of questions. At that point Alderman Anderson moved approval. Second by Alderman Wozniak. Vote 5 ayes, 0 nays. Carried.

**RESOLUTION R2016-02** APPROVING CONTRACT AMENDMENT #2 WITH CRAFTON TULL & ASSOCIATES, INC. FOR ON-CALL ENGINEERING, PLANNING REVIEW, AND SURVEYING SERVICES. This is the final year of this contract and will need to be rebid next year. Alderman Anderson commented on the fact that Crafton-Tull has served the city very well. He then moved approval of this Resolution. Seconded by Alderman Wozniak. Vote of 5 ayes, 0 nays. Adopted.

**RESOLUTION R2016-03-** Designating Authorized Disbursing Officers and Municipal Depository Board for the City of Bella Vista for Calendar Year 2016. The disbursing officers and Municipal depository board will remain the same as in 2015. Motion to approve by Alderman Wozniak, second by Alderman Flynn. 5 ayes, 0 nays. Resolution adopted.

**Alderman Flynn** asked about the effective date of the Ordinance passed earlier concerning the rezoning of the Marina property. Attorney Kelley stated that it would be effective 60 days after publication. Alderman Flynn expressed a desire to expedite this by adding an Emergency Clause. Attorney Kelley explained the procedure for going back and adding that at this point. After his explanation, Alderman Anderson moved to reconsider the passage of Item D. Second by Alderman King. Roll Call Vote to reconsider; 5 ayes, 0 nays. Passed. A motion was made by Alderman

Anderson to amend the motion and add an Emergency clause to the Ordinance. Seconded by Morgan. The motion add the emergency clause was to allow this development to move at a faster pace. A roll call vote was taken and was approved by vote of 5 ayes, 0 nays to approve the emergency clause.

At this point it was time to move the approval of the Ordinance as amended. Motion by Alderman Anderson, seconded by Alderman Morgan. Roll call vote taken; 5 ayes, 0 nays. Now it was time to adopt the Emergency Clause in the Ordinance. Moved by Alderman Anderson, seconded by Alderman King. No further debate was held so the roll call vote was taken. Motion passed by vote of 5 ayes, and 0 nays.

**MEETINGS AND ANNOUNCEMENTS:**

- The next City Council Work Session will be **Tuesday** Feb. 16, 2016 at 5:30PM in the City Hall Conference Room.
- The next Regular meeting of the City Council, Monday Feb. 22, 2016 at 6:30 PM at the Bella Vista American Legion Hall.
- Planning Commission Work Session will be Thursday Jan. 28 at 4:30PM in the City Hall conference room.
- Planning Commission Regular Meeting will be Feb. 8, 2016 at 6:45PM in the City Hall conference room.
- Public Safety Committee Meeting will be March 9 at 9:00AM in the City Hall Conference room.

Meeting was adjourned at 7:16PM

City Clerk Wayne Jertson

Mayor Peter Christie

**ORDINANCE NO. \_\_\_\_\_**

**CITY OF BELLA VISTA, ARKANSAS**

**AMENDING THE CODE OF ORDINANCES OF THE CITY OF BELLA VISTA TO ESTABLISH A BELLA VISTA ARTS COUNCIL, TO DEFINE ITS MEMBERSHIP, PURPOSE, POWERS AND DUTIES, AND FOR OTHER PURPOSES**

**WHEREAS**, promotion, encouragement and appreciation of the arts is an important part of cultural life in the City of Bella Vista; and

**WHEREAS**, establishing a group of interested citizens to advise the City with regard to artistic displays on public property is deemed advisable;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA, ARKANSAS:**

SECTION 1: The Code of Ordinances of the City of Bella Vista, Arkansas is hereby amended by adding a new Chapter 5—Boards, Commissions and Committees, which shall read as follows:

**“CHAPTER 5  
BOARDS, COMMISSIONS AND COMMITTEES**

**Article I. In General  
(Reserved)**

**Article II. Arts Council**

**Sec. 5-1 Arts Council Established; Membership**

- (a) There is hereby created an advisory board of the City of Bella Vista called the Bella Vista Arts Council. The Council shall have three (3) members appointed by the Mayor, with the approval of the City Council. Upon initial appointment the three (3) members’ terms shall be staggered such that one member shall serve a one (1) year term, one member shall serve a two (2) year term, and one member shall serve a three (3) year term. After the conclusion of the initial terms, all appointments or reappointments shall be for a term of three (3) years.
- (b) Members of the Bella Vista Arts Council shall be artistic professionals or residents of the city of diverse backgrounds with strong interests in the arts and culture of Bella Vista.
- (c) At its first meeting, and every year thereafter, members of the Bella Vista Arts Council shall name a Chairperson.

Sec. 5-2 Purpose

The purpose of the Bella Vista Arts Council shall be to promote and encourage the appreciation and enhancement of the arts and culture in Bella Vista.

Sec. 5-3 Powers and Duties

- (a) The Bella Vista Arts Council shall have the following powers and duties:
- (1) Review art to be located on public property or rights-of-way that has been or is to be donated to the City of Bella Vista and make recommendations to the Mayor and City Council with regard to the same, respecting the diversity of art and giving consideration to the efforts of a potential donor to the City;
  - (2) Advise the Mayor and City Council on matters related to using public art to enhance existing development;
  - (3) Advise the Mayor and City Council on how to increase public awareness and enjoyment of the visual arts;
  - (4) Advise the Mayor and City Council on how to increase the value and aesthetics of public lands and buildings to enrich the City economically, socially and culturally;
  - (5) Advise the Mayor and City Council on establishing a process for selecting and exhibiting art on city-owned property;
  - (6) Advise the Mayor and City Council on the implementation of public art programs;
  - (7) Ensure that artwork and the creative concepts of artists are supported;
  - (8) Provide advice and input with the planning of capital improvement projects undertaken by the City where there is potential for aesthetic involvement and where the arts may be incorporated into the final design of the project. This may include streets, trails, structures and infrastructure improvements; and
  - (9) Adopt rules for the conduct of its business meetings.”

PASSED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

APPROVED:

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PETER CHRISTIE  
MAYOR

ATTEST:

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WAYNE JERTSON  
CITY CLERK

Requested by: Mayor  
Prepared by: Jason Kelley, Staff Attorney

**BUSINESS OF THE CITY COUNCIL  
BELLA VISTA, AR**

MEETING DATE: December 21, 2015 – Regular Meeting

AGENDA ITEM:

ITEM TITLE: An Ordinance Accepting and Confirming Rights-of-Way Dedicated to the Public for Memorial Drive, and for Other Purposes

SUBMITTED BY: Christopher Suneson, PLA

SUMMARY EXPLANATION: Memorial Drive is classified as a Residential Street in the Bella Vista Master Street Plan, requiring 40' of right-of-way dedication. Previous platting of the area has never formally adopted a right-of-way along the street alignment, and has remained a private street.

Due to its perception of a public street, the administration approached Cooper Communities about dedicating Memorial Drive to the public so that the City can begin formal maintenance of the street in the future. Prior to acceptance of the right-of-way, it was determined by the Administration that repairs to the existing street surface were needed and that should be at Cooper Communities' cost. Working cooperatively with the organization, repairs were made to the Memorial Drive street surface and billed to Cooper. At this time, the street surface is in good condition as determined by the Streets Department and is ready for acceptance.

ATTACHMENT: ORDINANCE  RESOLUTION  OTHER

RECOMMENDATION: Staff recommends approval of this ordinance, and is requesting that the City Council waive its normal three readings to expedite the dedication to the public.

ACTION REQUESTED:  
Motion to adopt

**ORDINANCE NO.**

**ACCEPTING AND CONFIRMING RIGHTS-OF-WAY DEDICATED TO THE PUBLIC  
FOR MEMORIAL DRIVE, AND FOR OTHER PURPOSES.**

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**WHEREAS**, A.C.A. 14-301-102 requires that publicly dedicated rights-of-way within the City be accepted and confirmed by an ordinance specifically passed for that purpose; and

**WHEREAS**, Cooper Communities has expressed a willingness to dedicate rights-of-way encompassing 40' of width along the Memorial Drive street alignment.

**NOW, THEREFORE BE IT ORDAINED** by the City Council of the City of Bella Vista, Arkansas:

**Section 1:** The public rights-of-way shown in the attached Exhibits 'A', 'B', and 'C' which is made a part hereof, are hereby accepted and confirmed for public use.

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PASSED THIS \_\_\_ DAY OF \_\_\_\_\_, 2016.

Motion to adopt made by:

Ayes:

Nays:

Motion:

APPROVED:

\_\_\_\_\_  
Mayor Peter Christie

ATTEST:

\_\_\_\_\_  
Wayne Jertson  
City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Jason B. Kelley, Staff Attorney

*Requested by: Mayor Christie*

*Prepared by: Christopher Suneson, PLA, Director of Community Development Services*

**ORDINANCE NO. \_\_\_\_\_**

**CITY OF BELLA VISTA, ARKANSAS**

**AMENDING THE CODE OF ORDINANCES OF THE CITY OF BELLA VISTA TO PROVIDE FOR AN ELECTRONIC FUNDS PAYMENT POLICY**

**WHEREAS**, the City of Bella Vista requires the ability to make certain payments, particularly related to the provision of employee benefits, via an electronic funds payment, also known as an ACH payment; and

**WHEREAS**, Ark. Code Ann. §14-59-105 provides that disbursements of certain municipal funds may be made by electronic funds transfer provided that the City adopts by ordinance an electronic payment system which provides for internal accounting controls and documentation for audit and accounting purposes; and

**WHEREAS**, the electronic payment system established must be approved by the Legislative Joint Auditing Committee before implementation by the City;

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA, ARKANSAS:**

SECTION 1: The Code of Ordinances of the City of Bella Vista, Arkansas is hereby amended by adding a new Section 2-310 to Division 1 of Article VI-Finance, which shall read as follows:

**“Sec. 2-310. Electronic Payment System Authorization**

- (a) An electronic payment system is hereby authorized permitting disbursement of municipal funds for purposes other than for payments previously authorized to be made pursuant to subsections (c) and (d) of Ark. Code Ann. §14-59-105 as readopted by Arkansas Act 621 of 2011. The purpose of this authorization is to provide for payment directly into payees’ accounts in financial institutions for purposes stated in subsection (c).
- (b) The City Treasurer shall develop a procedure to assure internal accounting controls and adequate documentation of electronic payments. Said procedure shall be approved by the Legislative Joint Auditing Committee.

PASSED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

APPROVED:

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PETER CHRISTIE  
MAYOR

ATTEST:

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WAYNE JERTSON  
CITY CLERK

Requested by: Mayor  
Prepared by: Jason Kelley, Staff Attorney

**BUSINESS OF THE CITY COUNCIL  
BELLA VISTA, AR**

MEETING DATE: February 22, 2016 – Regular Meeting

AGENDA ITEM:

ITEM TITLE: An Ordinance Amending the City of Bella Vista Zoning Ordinance and Map by Rezoning Certain Lands Commonly Known as Benton County Parcels 16-70216-002 and 16-70226-001 from R-1 (Residential Single Family) and a Portion of Benton County Parcel 16-70222-000 from P-1 (Open Space) to PZD (Planned Zoning District) for the Country Club Villas Development and for Other Purposes.

SUBMITTED BY: Christopher Suneson, PLA

SUMMARY EXPLANATION: On January 11, 2016, the Planning Commission held a public hearing to rezone the subject parcels from their current district classification to Planned Zoning District (PZD). Commonly known as the “Country Club Villas”, the development under consideration is the first to go through review under the City’s planned zoning district regulations. In this process, the development is required to provide for zoning regulations that run with the land as well as architectural elevations to capture what is envisioned for the built environment.

The January public hearing raised issues of concern from both residents and the Commission itself. In order to address those concerns, the Commission tabled the item until its February regular meeting, providing the developer the opportunity to address the raised concerns.

On February 8, 2016, the Planning Commission voted to recommend the rezoning and development of this property by a vote of 4-1, with two recusals.

ATTACHMENT: ORDINANCE  RESOLUTION  OTHER : Exhibits

RECOMMENDATION: Staff is recommending approval of the attached ordinance, and is recommending the waiving of the normal three (3) readings to expedite construction of the development.

ACTION REQUESTED:  
Motion to adopt

# MASTER DEVELOPMENT PLAN

# COUNTRY CLUB VILLAS

# DOGWOOD DRIVE

## BELLA VISTA, ARKANSAS

### GENERAL NOTES:

- A. TOPOGRAPHIC BOUNDARY SURVEY, INCLUDING PROPERTY LINES, LEGAL DESCRIPTION, EXISTING UTILITIES, SITE TOPOGRAPHY WITH SPOT ELEVATIONS, OUTSTANDING PHYSICAL FEATURES AND EXISTING STRUCTURE LOCATIONS WAS PROVIDED BY THE FOLLOWING COMPANY, AS A CONTRACTOR TO THE SELLER/OWNER:
- TOPOGRAPHY:  
CEI ENGINEERING  
3108 SW REGENCY PARKWAY, SUITE 2  
BENTONVILLE, AR 72712  
479-273-9472
- B. ALL PHASES OF SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE OWNER / DEVELOPER SITE WORK SPECIFICATIONS.
- C. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF EXISTING STRUCTURES, RELATED UTILITIES, PAVING, UNDERGROUND STORAGE TANKS AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED. SEE SITE WORK SPECIFICATIONS.
- D. CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- E. THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- F. **WARRANTY/DISCLAIMER:** THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORANEOUS BASIS AT THE SITE.
- G. **SAFETY NOTICE TO CONTRACTOR:** IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- H. ALL CONSTRUCTION IN STATE HIGHWAY DEPARTMENT RIGHT-OF-WAY SHALL BE COORDINATED WITH THE HIGHWAY DEPARTMENT RESIDENT ENGINEER.
- I. **WETLANDS NOTE:** ANY DEVELOPMENT, EXCAVATION, CONSTRUCTION, OR FILLING IN A U.S. CORPS OF ENGINEERS DESIGNATED WETLAND IS SUBJECT TO LOCAL, STATE AND FEDERAL APPROVALS. THE CONTRACTOR SHALL COMPLY WITH ALL PERMIT REQUIREMENTS AND/OR RESTRICTIONS AND ANY VIOLATION WILL BE SUBJECT TO FEDERAL PENALTY. THE CONTRACTOR SHALL HOLD THE OWNER/DEVELOPER, THE ENGINEER AND THE LOCAL GOVERNING AGENCIES HARMLESS AGAINST SUCH VIOLATION.
- J. **RESIDENT ENGINEERING SERVICES:** WHEN REQUESTED BY THE OWNER, RESIDENT ENGINEERING SERVICES SHALL BE PROVIDED BY THE ENGINEERS (ON A TIME AND FREQUENCY BASIS) ACCEPTABLE TO THE CITY ENGINEER FOR IMPROVEMENTS TO PUBLIC WATER MAINS, PUBLIC SEWER, AND CITY STREETS. AT THE COMPLETION OF CONSTRUCTION, THE ENGINEER SHALL CERTIFY THE CONSTRUCTION TO BE IN COMPLIANCE WITH THE PLANS AND SPECIFICATIONS. THIS WORK WILL BE AT THE OWNER/DEVELOPER'S DIRECT EXPENSE AND SHALL BE COORDINATED WITH CEI ENGINEERING ASSOCIATES, INC. IT WILL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE RESIDENT ENGINEER OF ANY PRECONSTRUCTION / CONSTRUCTION CONFERENCES AND ANY PUBLIC CONSTRUCTION 24 HOURS PRIOR TO SAID ACTION.

### TOTAL PROJECT DESCRIPTION

A TRACT OF LAND SITUATED IN THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHEAST QUARTER (SE1/4) AND THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 22 AND THE NORTHWEST QUARTER (NW1/4) AND THE SOUTHWEST QUARTER (SW1/4) OF SECTION 23 ALL BEING IN TOWNSHIP 21 NORTH, RANGE 31 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 22 PER PLAT BOOK L, PAGE 159; THENCE NORTH 00°00'00" WEST, A DISTANCE OF 1,315.74 FEET; THENCE NORTH 90°00'00" WEST, A DISTANCE OF 68.60 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352) AND THE POINT OF BEGINNING;

THENCE NORTH 08°41'32" WEST, A DISTANCE OF 531.57 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352); THENCE NORTH 41°56'30" WEST, A DISTANCE OF 455.24 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352); THENCE NORTH 19°11'19" WEST A DISTANCE OF 191.91 FEET; THENCE NORTH 47°01'38" EAST A DISTANCE OF 172.33 FEET; THENCE NORTH 31°36'35" EAST A DISTANCE OF 189.14 FEET; THENCE NORTH 11°06'28" EAST A DISTANCE OF 67.07 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352); THENCE NORTH 06°35'33" EAST, A DISTANCE OF 538.59 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352); THENCE NORTH 48°51'54" EAST, CROSSING THE WEST RIGHT-OF-WAY OF AFOREMENTIONED DOGWOOD DRIVE AT A DISTANCE OF 96.46 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 136.71 FEET TO THE EAST RIGHT-OF-WAY OF AFOREMENTIONED DOGWOOD DRIVE;

THENCE ALONG SAID EAST RIGHT-OF-WAY THE FOLLOWING TWELVE (12) COURSES:

- ALONG A CURVE TO THE LEFT, WITH A LENGTH OF 72.75 FEET, HAVING A RADIUS OF 661.61 FEET, THROUGH A CENTRAL ANGLE OF 06°18'01", AND HAVING A CHORD WHICH BEARS SOUTH 50°53'53" EAST, A DISTANCE OF 72.72 FEET;
  - ALONG A CURVE TO THE RIGHT, WITH A LENGTH OF 84.21 FEET, HAVING A RADIUS OF 416.74 FEET, THROUGH A CENTRAL ANGLE OF 11°34'42", AND HAVING A CHORD WHICH BEARS SOUTH 48°15'39" EAST, A DISTANCE OF 84.07 FEET;
  - SOUTH 40°00'56" EAST, A DISTANCE OF 22.35 FEET;
  - SOUTH 37°33'25" EAST, A DISTANCE OF 245.87 FEET;
  - ALONG A CURVE TO THE RIGHT, WITH A LENGTH OF 79.77 FEET, HAVING A RADIUS OF 432.83 FEET, THROUGH A CENTRAL ANGLE OF 10°33'37", AND HAVING A CHORD WHICH BEARS SOUTH 32°16'37" EAST, A DISTANCE OF 79.66 FEET;
  - SOUTH 28°59'48" EAST, A DISTANCE OF 30.62 FEET;
  - ALONG A CURVE TO THE RIGHT, WITH A LENGTH OF 500.21 FEET, HAVING A RADIUS OF 633.20 FEET, THROUGH A CENTRAL ANGLE OF 45°15'45", AND HAVING A CHORD WHICH BEARS SOUTH 04°21'56" EAST, A DISTANCE OF 487.31 FEET;
  - SOUTH 18°15'56" WEST, A DISTANCE OF 149.93 FEET;
  - ALONG A CURVE TO THE LEFT, WITH A LENGTH OF 380.11 FEET, HAVING A RADIUS OF 722.24 FEET, THROUGH A CENTRAL ANGLE OF 30°09'16", AND HAVING A CHORD WHICH BEARS SOUTH 03°11'18" WEST, A DISTANCE OF 375.74 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352);
  - SOUTH 11°53'19" EAST, A DISTANCE OF 20.00 FEET;
  - ALONG A CURVE TO THE RIGHT, WITH A LENGTH OF 493.22 FEET, HAVING A RADIUS OF 475.18 FEET, THROUGH A CENTRAL ANGLE OF 59°28'18", AND HAVING A CHORD WHICH BEARS SOUTH 17°50'49" WEST, A DISTANCE OF 471.38 FEET;
  - ALONG A CURVE TO THE LEFT, WITH A LENGTH OF 220.12 FEET, HAVING A RADIUS OF 249.05 FEET, THROUGH A CENTRAL ANGLE OF 50°38'20", AND HAVING A CHORD WHICH BEARS SOUTH 22°15'44" WEST, A DISTANCE OF 213.02 FEET;
- THENCE LEAVING SAID EAST RIGHT-OF-WAY NORTH 34°37'18" WEST, A DISTANCE OF 76.14 FEET TO THE POINT OF BEGINNING AND CONTAINING 877,213 SQUARE FEET OR 20.14 ACRES, MORE OR LESS.

### Certificate of Approval:

Pursuant to the City of Bella Vista Subdivision Regulations and all other conditions and approvals having been completed, this document is hereby accepted. This Certificate is hereby executed under the authority of the said rules and regulations.

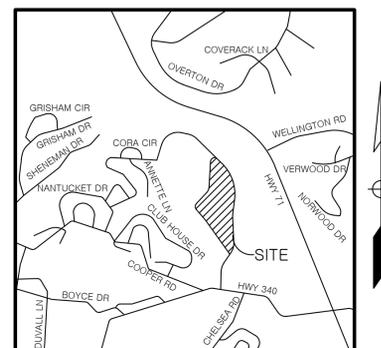
Date of Execution: \_\_\_\_\_

Signed: \_\_\_\_\_

Chairman, Bella Vista Planning Commission

Signed: \_\_\_\_\_

Mayor City of Bella Vista



### Vicinity Map

Not to Scale

### OWNER / DEVELOPER

COOPER HOMES  
903 NORTH 47TH STREET  
ROGERS, AR 72756  
PHONE: 479-246-6500  
JODY LATHAM

### CEI CONTACT

TOM OPPENHEIM  
PROJECT MANAGER  
TOPPENHEIM@CEIENG.COM  
PH# (479) 273-9472  
FAX# (479) 273-0844



### GENERAL PROVISIONS:

**AUTHORITY:** THIS PLANNED ZONING DISTRICT (PZD) MASTER DEVELOPMENT PLAN IS AUTHORIZED BY THE CITY OF BELLA VISTA ZONING CODE. THE PROVISIONS OF THIS PZD MASTER DEVELOPMENT PLAN SHALL RUN WITH THE LAND. THE LANDOWNERS, THEIR SUCCESSORS, HEIRS, OR ASSIGNS SHALL BE BOUND BY THE MASTER DEVELOPMENT PLAN, AS AMENDED AND APPROVED BY THE CITY COUNCIL.

**ADDITION:** THE ADOPTION OF THIS PZD MASTER DEVELOPMENT PLAN SHALL EVIDENCE THE FINDINGS AND DECISION OF THE CITY COUNCIL THAT THIS PLANNED ZONING DISTRICT FOR (NAME OF DEVELOPMENT) IS IN GENERAL CONFORMITY WITH THE CITY'S FUTURE LAND USE PLAN, MASTER STREET PLAN, AND OTHER POLICY DOCUMENTS IN FORCE AT THE TIME OF ITS ADOPTION. THE PROVISIONS OF THIS PZD MASTER DEVELOPMENT PLAN SHALL PREVAIL AND GOVERN THE DEVELOPMENT OF (NAME OF DEVELOPMENT), PROVIDED, HOWEVER, THAT WHERE THE PROVISIONS OF THIS MASTER DEVELOPMENT PLAN DO NOT ADDRESS A PARTICULAR SUBJECT, THE RELEVANT PROVISIONS OF THE CITY'S CODE, AS AMENDED, OR ANY OTHER APPLICABLE RESOLUTIONS OR REGULATIONS OF THE CITY OF BELLA VISTA, SHALL BE APPLICABLE.

**REVERSION:** IN THE EVENT THAT THE ZONING AND DEVELOPMENT STANDARDS DESCRIBED IN THE PLANNED ZONING DISTRICT'S ZONING DESCRIPTIONS, MASTER DEVELOPMENT PLAN, AND ARCHITECTURAL ELEVATIONS ARE NOT FULLY IMPLEMENTED WITHIN THREE (3) YEARS, THOSE UNDEVELOPED PORTIONS OF THE PARCEL(S) FOR WHICH THE PZD WAS PROPOSED SHALL REVERT TO ITS PRE-PROPOSAL ZONING DISTRICT.

**ENFORCEMENT:** TO FURTHER THE MUTUAL INTERESTS OF THE RESIDENTS, OCCUPANTS, AND OWNERS OF THE PZD MASTER DEVELOPMENT PLAN AND OF THE PUBLIC IN THE PRESERVATION AND INTEGRITY OF THE PLAN, THE PROVISIONS OF THIS PLAN RELATING TO THE USE OF LAND, STATEMENTS OF COMMITMENTS, DEVELOPMENT AND ARCHITECTURAL STANDARDS, AND THE LOCATION OF COMMON OPEN SPACE SHALL RUN IN FAVOR OF THE CITY OF BELLA VISTA AND SHALL BE ENFORCEABLE AT LAW OR IN EQUITY BY THE CITY WITHOUT LIMITATION ON ANY POWER OR REGULATION OTHERWISE GRANTED BY LAW.

**CONFLICT:** WHERE THERE IS MORE THAN ONE PROVISION WITHIN THE PZD MASTER DEVELOPMENT PLAN THAT COVERS THE SAME SUBJECT MATTER, THE PROVISION WHICH IS MOST RESTRICTIVE OR IMPOSES HIGHER STANDARDS OR REQUIREMENTS SHALL GOVERN. **MAXIMUM LEVEL OF DEVELOPMENT:** THE TOTAL NUMBER OF DWELLINGS OR THE TOTAL COMMERCIAL, BUSINESS, OR INDUSTRIAL INTENSITY APPROVED FOR DEVELOPMENT WITHIN THE LAND USE CATEGORIES IS THE MAXIMUM DEVELOPMENT REQUESTED FOR PLATTING OR CONSTRUCTION. THE ACTUAL NUMBER OF DWELLINGS OR LEVEL OF DEVELOPMENT FOR COMMERCIAL, BUSINESS, OR INDUSTRIAL PROPERTIES MAY BE LESS DUE TO SUBDIVISION OR SITE IMPROVEMENT PLAN REQUIREMENTS OR OTHER REQUIREMENTS OF THE CITY CODE.

### PLAN INDEX:

1. COVER SHEET	20. OVERALL WATER LAYOUT
2. MASTER DEVELOPMENT PLAN	21. WATER PLAN AND PROFILE 1
3. PRELIMINARY PLAT	22. WATER PLAN AND PROFILE 2
4. PRELIMINARY PLAT 2	23. WATER PLAN AND PROFILE 3
5. GRADING PLAN 1	24. WATER PLAN 4
6. GRADING PLAN 2	25. WATER PLAN 5
7. VILLAS WAY PLAN AND PROFILE	26. WATER MAIN B EXTENSION
8. OVERALL DRAINAGE LAYOUT	27. OVERALL SEWER LAYOUT
9. DRAINAGE PLAN A & C	28. SEWER PLAN AND PROFILE 1
10. DRAINAGE PLAN B & F	29. SEWER PLAN AND PROFILE 2
11. DRAINAGE PLAN D & E	30. SEWER PLAN AND PROFILE 3
12. DRAINAGE PLAN G	31. SEWER PLAN AND PROFILE 4
13. DRAINAGE PLAN H & I	32. SEWER PLAN AND PROFILE 5
14. DRAINAGE PLAN J & K	33. SEWER PLAN AND PROFILE 6
15. DRAINAGE PLAN L & M	34. DETAIL SHEET 1
16. EROSION CONTROL PHASE I S	35. DETAIL SHEET 2
17. EROSION CONTROL PHASE I N	36. DETAIL SHEET 3
18. EROSION CONTROL PHASE II S	37. DETAIL SHEET 4
19. EROSION CONTROL PHASE II N	

### FLOOD CERTIFICATION:

THIS PROPERTY IS NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOOD PLAIN, AS SHOWN BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP FOR THE CITY OF BELLA VISTA, AR, COMMUNITY PANEL NUMBER 05007C0060J EFFECTIVE DATE SEPTEMBER 28, 2007.

APPROVED \_\_\_\_\_

DATE \_\_\_\_\_

CITY OF BELLA VISTA

### RESOURCE LIST:

<b>CITY HALL</b> 101 TOWN CENTER P.O. BOX 5655-72714 BELLA VISTA, AR 72712 (479) 876-1255 CHRISTOPHER SUNESON	<b>CARBOLL ELECTRIC COOPERATIVE CORPORATION</b> BENTONVILLE, AR 72712 (479) 273-2421 EXT. 2690 DEREK THURMAN DTHURMAN@CARROLLECC.COM	<b>SANITARY SEWER</b> VILLAGE WASTE WATER CO 380 BELLA VISTA WAY BELLA VISTA, AR 72714 (479) 855-7613 TOM WOOTERS
<b>CITY OF BELLA VISTA - DEPARTMENT OF COMMUNITY DEVELOPMENT SERVICES</b> 616 WEST LANCASTER BLVD. BELLA VISTA, AR 72715 (479) 855-8085	<b>BELLA VISTA FIRE DEPARTMENT</b> 103 TOWN CENTER BELLA VISTA, AR 72714 (479)-855-8248 CHIEF STEVE SIMS	<b>COX COMMUNICATIONS</b> 4901 S. 48TH STREET SPRINGDALE, AR 72762 (479) 717-3610 LEN HOGAN
<b>BELLA VISTA PDA</b> 51 HUNTLEY LANE BELLA VISTA, AR 72715 (479) 855-8085 MIKE TAGGART	<b>STREET DEPARTMENT</b> 101 TOWN CENTER P.O. BOX 5655-72714 BELLA VISTA, AR 72712 (479) 876-1255 MICHAEL BUTTON	<b>TELEPHONE</b> AT&T 627 WHITE ROAD SPRINGDALE, AR 72762 (479) 442-1967 SCOTT SEAMAN



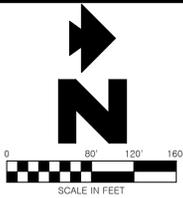
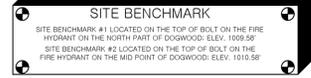
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SHEET NO.: 1 of 37

Arkansas \* California \* Georgia \* Minnesota \* Pennsylvania \* Texas

Square Feet & Acreage				
	Street R-O-W	LOTS	Common Property	Limited Common Property
Square Feet	161,578	485,934	64,121	165,580
Acreage	3.71	11.16	1.47	3.80

SITE AREAS	
AREA 1 COMMON PROPERTY	+0.12 AC / 5,230 SF
AREA 2 COMMON PROPERTY	+1.00 AC / 40,602 SF
AREA 3 LIMITED COMMON PROPERTY	+3.80 AC / 165,580 SF
AREA 4 COMMON PROPERTY	+0.35 AC / 15,289 SF

SITE INFO						
TOTAL SITE AREA	+20.14 AC / 877,213 SF					
TOTAL COMMON PROPERTY AREA	+5.27 AC / 229,701 SF					
DENSITY						
ZONING DISTRICT	MAXIMUM DENSITY PERMITTED					
PZD	2.66 UNITS PER ACRE					
PZD BULK AND AREA STANDARDS (FEET)						
DISTRICT	STRUCTURE TYPE	MINIMUM LOT AREA (SQ. FT.)	MINIMUM STREET FRONTAGE	MINIMUM WIDTH	MINIMUM DEPTH	MINIMUM LOT COVERAGE
PZD	SINGLE-FAMILY	8,000	50	50	100	40 PERCENT
SETBACK REQUIREMENTS (FEET)						
DISTRICT	FRONT	SIDE	REAR			
PZD	20	8	20			



EXISTING LEGEND

- - - - - EAST OR ELECTRIC
  - - - - - NORTH
  - - - - - OVERHEAD
  - - - - - SOUTH OR SEWER
  - - - - - TELEPHONE
  - - - - - UNDERGROUND
  - - - - - WEST OR WATER
  - - - - - PROPERTY LINE
  - - - - - RIGHT OF WAY LINE
  - - - - - STORM DRAIN
  - - - - - GAS
  - - - - - OHE OVERHEAD ELECTRIC
  - - - - - OHE&T OVERHEAD ELECTRIC AND TELEPHONE
  - - - - - OHT OVERHEAD TELEPHONE
  - - - - - OHTV OVERHEAD TV
  - - - - - X'SS SANITARY SEWER
  - - - - - UGE UNDERGROUND ELECTRIC
  - - - - - UGE&T UNDERGROUND ELECTRIC AND TELEPHONE
  - - - - - UGT UNDERGROUND TELEPHONE
  - - - - - UGTV UNDERGROUND TV
  - - - - - X'W WATER
- 5-10-11 50.5  
.5 = DIAMETER OF TRUNK IN FEET  
10 = HEIGHT OF TREE IN FEET  
11 = CANOPY DIAMETER IN FEET  
50.5 = ELEVATION AT BASE OF TREE

PROPOSED LEGEND

- - - - - PROPERTY LINE/RIGHT OF WAY LINE
- - - - - CONCRETE CURB AND GUTTER
- - - - - UTILITY EASEMENT
- - - - - PAVEMENT WIDENING
- - - - - LIMITS OF SIDEWALKS
- - - - - LIMITS OF PUBLIC RIGHT OF WAY
- - - - - PA-1 LIMITS OF DEVELOPMENT LOTS
- - - - - PA-2 LIMITS OF COMMON PROPERTY/OPEN SPACE
- - - - - PA-3 LIMITS OF LIMITED COMMON PROPERTY

GENERAL DRAINAGE NOTES

- A. SEE PLAN FOR SIZE OF DRIVEWAY CULVERTS TO BE INSTALLED AT EACH DRIVEWAY DITCH LOCATION. CONTRACTOR TO COORDINATE EXACT LOCATION FOR EACH INSTALLATION WITH THE CITY AT THE TIME OF HOUSE CONSTRUCTION.



PLANNED ZONING DISTRICT (PZD) - COUNTRY CLUB VILLAS

I. GENERAL DESCRIPTION.  
A. THE GOAL OF THE COUNTRY CLUB VILLAS PZD IS TO PROVIDE SAFE, SOUND, ECONOMIC, AND INNOVATIVE HOUSING SOLUTIONS FOR ALL CITIZENS.  
SPECIFIC GOALS OF THE PZD INCLUDE:  
1. PROVISIONS OF ADEQUATE SPACE WITHIN THE PZD BOUNDARIES TO CREATE AN APPROPRIATE MIX OF HOUSING FLOORPLANS;  
2. CONTROL OF STRUCTURE HEIGHT TO PROVIDE LIGHT AND AIR MOVEMENT THROUGH WINDOWS AND BETWEEN UNITS;  
3. PROMOTION OF DESIRABLE LAND USE AND DEVELOPMENT IN ORDER TO PROTECT DISTRICT CHARACTER AND TO CONSERVE LAND AND BUILDING VALUE;  
4. PROVISIONS OF OPEN SPACE DEDICATION.

II. DISTRICT PURPOSES.  
A. PZD - COUNTRY CLUB VILLAS. THIS DISTRICT IS INTENDED TO CREATE A SUITABLE ENVIRONMENT FOR DEVELOPMENT OF QUALITY DETACHED SINGLE-FAMILY DWELLINGS WITH COMPARATIVE DENSITIES, AND RELATED FACILITIES NORMALLY REQUIRED FOR A BALANCED AND ATTRACTIVE RESIDENTIAL AREA WHILE ALSO PROVIDING DEDICATED OPEN SPACE. THE COUNTRY CLUB VILLAS PZD SHALL BE COMPRISED OF THREE DISTRICT AREAS:  
1. PLANNING AREA 1 (PA-1) RESIDENTIAL SINGLE FAMILY  
2. PLANNING AREA 2 (PA-2) COMMON SPACE  
3. PLANNING AREA 3 (PA-3) LIMITED COMMON SPACE

I. PLANNING AREA 1 (PA-1) RESIDENTIAL SINGLE FAMILY REQUIREMENTS  
A. PZD BULK AND AREA REQUIREMENTS.  
1. DENSITY. THE MAXIMUM DENSITY PERMITTED UNDER THIS DISTRICT IS 2.66 RESIDENTIAL UNITS PER ACRE.  
2. LOT AND AREA REQUIREMENTS:

District	Structure Type	Minimum Lot Area (sq. ft.)	Minimum Street Frontage	Minimum Lot Width	Minimum Lot Depth	Minimum Lot Coverage
PZD	Single family	8,000	50	50	100	40 percent

3. MINIMUM SETBACK REQUIREMENTS:  
a) GARAGES. THE MINIMUM SETBACK FOR FRONT-LOADING GARAGES SHALL BE TEN (10) FEET FROM THE FRONT ELEVATION OF THE PRINCIPLE STRUCTURE AND SET BACK A MINIMUM OF THIRTY (30) FEET FROM THE FRONT PROPERTY LINE. SIDE-LOADING GARAGES SHALL BE SET BACK A MINIMUM OF TWENTY (20) FEET FROM ANY PROPERTY LINE.  
b) RESIDENCES. PRINCIPLE RESIDENTIAL STRUCTURES SHALL BE SET BACK NO LESS THAN: TWENTY (20) FEET FROM THE FRONT OF THE LOT, EIGHT (8) FEET FROM ANY SIDE LOT LINE, AND TWENTY (20) FEET FROM THE REAR OF ANY LOT.  
c) EASEMENTS. WHERE A UTILITY EASEMENT EXTENDS BEYOND THE REQUIRED SETBACK, THE EDGE OF THE UTILITY EASEMENT SHALL BE THE SETBACK.

B. SETBACKS. BUILDING SETBACKS SHOWN ON THE LOTS ARE ALSO TO SERVE AS UTILITY, ACCESS, AND DRAINAGE EASEMENTS.  
C. HEIGHT REQUIREMENTS. THE MAXIMUM HEIGHT PERMITTED IN THE PZD DISTRICT IS FORTY (40) FEET.  
D. PARKING. EACH INDIVIDUAL UNIT SHALL PROVIDE OFF-STREET PARKING WITHIN A TWO CAR GARAGE.  
E. FENCING. FENCING IN ANY FORM IS NOT PERMITTED WITHIN THE COUNTRY CLUB VILLAS PZD.  
F. LANDSCAPING. EACH INDIVIDUAL UNIT SHALL PROVIDE AT LEAST TWO TREES IN THE FRONT YARD AND ONE IN THE BACK YARD OF EACH LOT SELECTED FROM THE RECOMMENDED LANDSCAPING MATERIALS LISTED IN MUNICIPAL CODE SECTION 109-221.  
G. ARCHITECTURE. THROUGH ALL BUILDINGS AND STRUCTURES SHALL ADHERE TO A COMMON ARCHITECTURAL THEME OR STYLE. THE FOOTPRINT OF THE HOMES, MATERIAL UTILIZED TO CREATE THE FACADE OF THE HOME AND A NUMBER OF DIFFERENT CONSTRUCTION PLANS WILL BE UTILIZED SO AS TO CREATE A NON-STANDARDIZED STREET VIEW. NO TWO HOMES SHALL BE CONSTRUCTED IMMEDIATELY ADJACENT TO EACH OTHER THAT UTILIZE THE SAME THREE ELEMENTS (SET FORTH IN THE PREVIOUS SENTENCE) OF THE HOME IMMEDIATELY ADJACENT TO IT.

II. PLANNING AREA 1 - TABLE OF PERMITTED USES.  
A. LOCATION AND DESCRIPTION. THE TABLE OF PERMITTED USES IS LOCATED IN APPENDIX A OF THIS DOCUMENT.  
B. USES NOT LISTED.

1. WHEN A USE IS PROPOSED THAT IS NOT LISTED IN THE TABLE OF PERMITTED USES, THE MAYOR OR HIS DESIGNEE SHALL RECOMMEND THE APPROPRIATE DISTRICTS THAT THE USE MAY BE LOCATED IN, BASED ON LAND USES THAT ARE SIMILAR IN SIZE, BULK, AND TRAFFIC GENERATION. IF THE APPLICANT DOES NOT AGREE WITH THIS INTERPRETATION, HE MAY APPEAL THE INTERPRETATION TO THE BOARD OF ZONING ADJUSTMENT.  
2. IF THE MAYOR OR HIS DESIGNEE FAILS TO MAKE AN INTERPRETATION FOR THE USE IN QUESTION, THEN THE APPLICATION SHALL BE HANDLED AS A PROPOSED AMENDMENT TO THIS DOCUMENT AND SHALL BE PROCESSED IN ACCORDANCE WITH CITY OF BELLA VISTA REQUIREMENTS.

III. PLANNING AREA 2 (PA-2) COMMON SPACE REQUIREMENTS  
A. DEFINITION: COMMON SPACE IN THE COUNTRY CLUB VILLAS PZD IS LAND DEVOTED TO CONSERVATION OR RECREATIONAL PURPOSES AND/OR LAND DESIGNATED TO REMAIN UNDEVELOPED.

IV. PLANNING AREA 2 (PA-2) - TABLE OF PERMITTED USES.  
A. LOCATION AND DESCRIPTION. THE TABLE OF PERMITTED USES IS LOCATED IN APPENDIX A OF THIS DOCUMENT.  
B. USES NOT LISTED.

1. WHEN A USE IS PROPOSED THAT IS NOT LISTED IN THE TABLE OF PERMITTED USES, THE MAYOR OR HIS DESIGNEE SHALL RECOMMEND THE APPROPRIATE DISTRICTS THAT THE USE MAY BE LOCATED IN, BASED ON LAND USES THAT ARE SIMILAR IN SIZE, BULK, AND TRAFFIC GENERATION. IF THE APPLICANT DOES NOT AGREE WITH THIS INTERPRETATION, HE MAY APPEAL THE INTERPRETATION TO THE BOARD OF ZONING ADJUSTMENT.  
2. IF THE MAYOR OR HIS DESIGNEE FAILS TO MAKE AN INTERPRETATION FOR THE USE IN QUESTION, THEN THE APPLICATION SHALL BE HANDLED AS A PROPOSED AMENDMENT TO THIS DOCUMENT AND SHALL BE PROCESSED IN ACCORDANCE WITH CITY OF BELLA VISTA REQUIREMENTS.

V. PLANNING AREA 3 (PA-3) LIMITED COMMON SPACE REQUIREMENTS  
A. DEFINITION: LIMITED COMMON SPACE IN THE COUNTRY CLUB VILLAS PZD IS LAND DEVOTED TO CONSERVATION OR RECREATIONAL PURPOSES AND/OR LAND DESIGNATED TO REMAIN UNDEVELOPED.

VI. PLANNING AREA 3 (PA-3) - TABLE OF PERMITTED USES.  
A. LOCATION AND DESCRIPTION. THE TABLE OF PERMITTED USES IS LOCATED IN APPENDIX A OF THIS DOCUMENT.  
B. USES NOT LISTED.

1. WHEN A USE IS PROPOSED THAT IS NOT LISTED IN THE TABLE OF PERMITTED USES, THE MAYOR OR HIS DESIGNEE SHALL RECOMMEND THE APPROPRIATE DISTRICTS THAT THE USE MAY BE LOCATED IN, BASED ON LAND USES THAT ARE SIMILAR IN SIZE, BULK, AND TRAFFIC GENERATION. IF THE APPLICANT DOES NOT AGREE WITH THIS INTERPRETATION, HE MAY APPEAL THE INTERPRETATION TO THE BOARD OF ZONING ADJUSTMENT.  
2. IF THE MAYOR OR HIS DESIGNEE FAILS TO MAKE AN INTERPRETATION FOR THE USE IN QUESTION, THEN THE APPLICATION SHALL BE HANDLED AS A PROPOSED AMENDMENT TO THIS DOCUMENT AND SHALL BE PROCESSED IN ACCORDANCE WITH CITY OF BELLA VISTA REQUIREMENTS.

VII. COUNTRY CLUB VILLAS PZD - PERMANENT SIGNS.  
A. PERMIT REQUIRED. PERMANENT SIGNS MUST OBTAIN A SIGN PERMIT AS OUTLINED IN THE CITY OF BELLA VISTA CODE OF ORDINANCES SECTION 109-46, SUBJECT TO THE REGULATIONS SPECIFIED IN THIS SECTION.  
B. ATTACHED SIGNAGE. PERMANENT SIGNAGE ATTACHED TO OR INTEGRAL TO A BUILDING OR STRUCTURE IS NOT PERMITTED WITHIN THE PZD.  
C. MONUMENT SIGNAGE. MONUMENT SIGNAGE IS SUBJECT TO THE FOLLOWING REGULATIONS:  
1. MAXIMUM HEIGHT. MONUMENT SIGNS SHALL BE LIMITED TO SEVEN (7) FEET IN HEIGHT.  
2. MAXIMUM AREA. MONUMENT SIGNS SHALL BE LIMITED TO THIRTY-TWO (32) SQUARE FEET OF SIGN AREA PER SIDE.  
3. LANDSCAPING. DECORATIVE STONES, CRUSHED GRANITE, OR RIVER STONE SHALL BE REQUIRED AROUND THE SIGN.  
D. ILLUMINATION.

- SOURCE. SIGNS MAY BE ILLUMINATED FROM WITHIN OR FROM AN EXTERNAL SOURCE, BUT SUCH ILLUMINATION SHALL BE IN A MANNER WHICH AVOIDS GLARE OR REFLECTION WHICH IN ANY WAY INTERFERES WITH TRAFFIC SAFETY OR INFRINGES ON NEIGHBORING RESIDENTIAL DISTRICTS.
- INTERNAL ILLUMINATION. INTERNALLY ILLUMINATED SIGNS SHALL HAVE AN OPAQUE BACKGROUND AND TRANSLUCENT COPY.
- EXTERNAL ILLUMINATION. EXTERNAL ILLUMINATION SHALL BE SELECTED, LOCATED, AIMED AND SHIELDED SO THAT DIRECT ILLUMINATION IS FOCUSED SOLELY ON THE SIGN FACE, AWAY FROM ADJOINING PROPERTIES AND THE PUBLIC STREET RIGHT-OF-WAY.
- STRUNG LIGHTS. SIGNS SHALL NOT BE ILLUMINATED BY A STRING OF LIGHTS PLACED AROUND THE SIGN.
- LIGHTING ADJACENT TO RESIDENTIAL AREAS. SIGN LIGHTING SHALL NOT BE A NUISANCE TO ADJACENT NEIGHBORING RESIDENTIAL AREAS.

APPENDIX A - TABLE OF PERMITTED USES

Key to Uses: P = Permitted Use C = Conditional Use	Zoning District: Country Club Villas PZD		
	PA-1, Residential Single-family	PA-2, Common Space	PA-3, Limited Common Space
TYPE OF USE	PA-1	PA-2	PA-3
Accessory building, nonresidential	P	P	P
Accessory building, residential	P		
Animal - domestic or household	P		
Art gallery, museum or similar public use	C		
Community center: public	P		
Detention Pond		P	P
Golf courses, clubhouse	C	P	
Park, public or private	P	P	P
Public buildings, government services	C		
Public utilities facilities	C		
Recreational facilities, outdoor		P	P
Temporary uses	P		

(Country Club Villas PZD, app. A)

Page 1



28621 2/2/16 TCO TCO DKH DKH  
CEI PROJECT NO. INITIAL DATE DPOR PM DES DRW

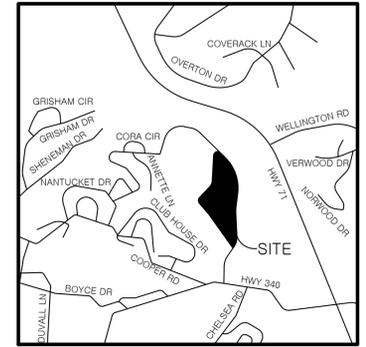
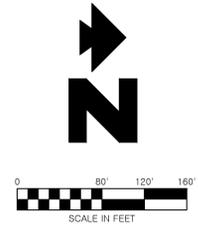
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Bentonville, AR 72712 FAX (479)273-0844

**COUNTRY CLUB VILLAS**  
DOGWOOD DRIVE  
BELLA VISTA, ARKANSAS

MASTER DEVELOPMENT PLAN REV DATE 2/2/16 SHEET NO. 2 OF 37  
REV-7

**SITE BENCHMARK**  
 SITE BENCHMARK #1 LOCATED ON THE TOP OF BOLT ON THE FIRE HYDRANT ON THE NORTH PART OF DOGWOOD. ELEV. 1009.59  
 SITE BENCHMARK #2 LOCATED ON THE TOP OF BOLT ON THE FIRE HYDRANT ON THE MID POINT OF DOGWOOD. ELEV. 1010.59



**Vicinity Map**  
 Not to Scale

**EXISTING LEGEND**

—	EAST OR ELECTRIC
—	NORTH
—	OVERHEAD
—	SOUTH OR SEWER
—	TELEPHONE
—	UNDERGROUND
—	WEST OR WATER
—	PROPERTY LINE
—	RIGHT OF WAY LINE
—	STORM DRAIN
—	X'G GAS
—	OHE OVERHEAD ELECTRIC
—	OHE&T OVERHEAD ELECTRIC AND TELEPHONE
—	OHT OVERHEAD TELEPHONE
—	OHTV OVERHEAD TV
—	X'SS SANITARY SEWER
—	UGE UNDERGROUND ELECTRIC
—	UGE&T UNDERGROUND ELECTRIC AND TELEPHONE
—	UGT UNDERGROUND TELEPHONE
—	UGTV UNDERGROUND TV
—	X'W WATER

**Tree Info**  
 5 = DIAMETER OF TRUNK IN FEET  
 10 = HEIGHT OF TREE IN FEET  
 11 = CANOPY DIAMETER IN FEET  
 50.5 = ELEVATION AT BASE OF TREE



**LEGEND**

—	Boundary Line
—	Lot/Deed Line
—	Adjoining Boundary Line
—	Right-of-Way Line
—	Easement/Setback Line
—	Centerline
—	Limits of Detention Pond
—	Found Rebar (As Noted)
—	Set Rebar (LS#1337)
—	Limited Common Property

Certificate of Preliminary Survey Accuracy.  
 I, \_\_\_\_\_, hereby certify that this plan correctly represents a boundary survey made by me and all monuments shown herein actually exist and their location, size, type and material are correctly shown.  
 Date of Execution: \_\_\_\_\_  
 Registered Land Surveyor  
 State of Arkansas  
 Registration No. \_\_\_\_\_

**Square Feet & Acreage**

	Street R-O-W	LOTS	Common Property	Limited Common Property
Square Feet	161,578	485,934	64,121	165,580
Acreage	3.71	11.16	1.47	3.80

THE FOLLOWING NOTES CONSTITUTE A PART OF THIS PLAN AND ARE TO BE READ IN CONNECTION WITH THE PLAN AND ALL PROPERTY REFLECTED THEREON

- AT 10:00 O'CLOCK A.M. ON THE 18TH DAY OF MAY, 1965, THE DEVELOPER, JOINED BY BELLA VISTA COUNTRY CLUB (NOW BELLA VISTA VILLAGE PROPERTY OWNERS ASSOCIATION) A NON-PROFIT CORPORATION, FILED IN THE OFFICE OF THE CIRCUIT CLERK AND EX-OFFICIO RECORDER IN AND FOR BENTON COUNTY, ARKANSAS, A SEQ. THIS PLAN IS FILED CONTEMPORANEOUSLY WITH THE FILING OF THE SUPPLEMENTAL DECLARATION OF COVENANTS AND RESTRICTIONS, EXECUTED BY THE DEVELOPER WHICH HAS THE EFFECT OF BRINGING THE LANDS REFLECTED UPON THIS PLAN WITHIN THE PROVISIONS OF THE DECLARATION AFORESAID FILED FOR RECORD ON MAY 18, 1965, WHICH IN ITS ENTIRETY, IS BY REFERENCE MADE A PART OF THIS PLAN. THE PROVISIONS OF THE DECLARATION AND SUPPLEMENTAL DECLARATION AFORESAID SHALL CONTROL AS TO THE PLAT EXCEPT ONLY AS TO THE PROVISIONS HEREIN CONTAINED.
- ALL ROADS AND STREETS REFLECTED UPON THE PLAT ARE DEDICATED TO THE GENERAL PUBLIC, AS WELL AS TO THE OWNERS, PRESENT AND FUTURE, OF LAND REFLECTED UPON SAID PLAT
- THE COMMON PROPERTIES REFLECTED UPON THE PLAT ARE INTENDED TO BE DEVOTED TO THE COMMON USE AND ENJOYMENT OF THE OWNERS OF THE LOTS REFLECTED UPON SAID PLAT AS WELL AS THE OWNERS OF ALL OF THE PROPERTIES AS SO DEFINED IN THE DECLARATION AFORESAID AND SHALL IN NOWISE BE CONSIDERED AS DEDICATED FOR USE TO THE GENERAL PUBLIC.
- THE LIMITED COMMON PROPERTIES REFLECTED UPON THIS PLAN ARE INTENDED TO BE DEVOTED TO THE COMMON USE AND ENJOYMENT OF THE OWNERS OF LOTS IN THE COUNTRY CLUB VILLAS SUBDIVISION ONLY AS REFLECTED UPON THIS PLAN AND AS DEFINED IN THE ACCOMPANYING SUPPLEMENTAL DECLARATION OF COVENANTS AND RESTRICTIONS, RECORDED HERewith, AND THE SAID LIMITED COMMON PROPERTIES SHALL IN NOWISE BE CONSIDERED AS DEDICATED FOR USE OF ANY OTHER PERSON. THE USE OF THE LIMITED COMMON PROPERTY IS SUBJECT, HOWEVER, TO ARTICLE VII AND ARTICLE IX OF THE DECLARATION.
- UTILITY AND DRAINAGE EASEMENTS ARE RESERVED BY THE DEVELOPER UPON ALL PROPERTY COVERED BY THE PLAT PURSUANT TO ARTICLE IV OF THE DECLARATION AFORESAID UNLESS SPECIFICALLY DESIGNATED OTHERWISE ON THE PLAT OR IN THE NOTES.

- ALL LOTS REFLECTED UPON THE PLAT ARE RESIDENTIAL LOTS, AND ONLY SINGLE FAMILY DETACHED STRUCTURES MAY BE BUILT AND CONSTRUCTED THEREON PURSUANT TO THE PROVISIONS, RESTRICTIONS AND PROTECTIVE COVENANTS AS CONTAINED IN THE DECLARATION AFORESAID. NO SINGLE FAMILY DETACHED STRUCTURE SHALL BE CONSTRUCTED WHICH SHALL HAVE A FLOOR SPACE OF LESS THAN 1,600 SQUARE FEET.
- SET BACK LINES AS INDICATED UPON THE PLAT SHALL CONTROL AS TO CONSTRUCTION OF A STRUCTURE UPON THE LOTS REFLECTED THEREON SUBJECT, HOWEVER, TO THE PROVISIONS OF THE DECLARATION AFORESAID.
- OWNERS SHALL COMPLY WITH THE PROVISIONS OF PARAGRAPH 16 OF THE PROTECTIVE COVENANTS WHICH COVENANTS ARE EXHIBIT 1 OF THE DECLARATION AFORESAID, AS TO ALL AREAS INDICATED AS PROTECTIVE SCREENING AREAS UPON THE PLAT.
- DEVELOPER, ITS SUCCESSORS AND ASSIGNS, HEREBY RESERVES A PERPETUAL BLANKET EASEMENT, PRIVILEGE AND RIGHT IN, UPON OVER AND ACROSS THE COMMON PROPERTIES REFLECTED HEREON, IF ANY, FOR PURPOSES OF CONSTRUCTING AND MAINTAINING SUCH ROADS, STREETS OR HIGHWAYS AS IT SHALL DETERMINE TO BE NECESSARY OR DESIRABLE IN ITS SOLE DISCRETION, INCLUDING SUCH CUTS, GRADING, LEVELING, FILLING, DRAINING, PAVING, BRIDGES, CULVERTS, RAMPS AND ANY AND ALL OTHER ACTIONS OR INSTALLATIONS WHICH IT DEEMS NECESSARY OR DESIRABLE FOR SUCH ROADS, STREETS OR HIGHWAYS TO BE SUFFICIENT FOR ALL PURPOSES OF TRANSPORTATION AND TRAVEL. THE WIDTH AND LOCATION OF THE RIGHT OF WAY FOR SUCH ROADS, STREETS OR HIGHWAYS SHALL BE WITHIN THE SOLE DISCRETION OF DEVELOPER, ITS SUCCESSORS AND ASSIGNS, PROVIDED, HOWEVER, THAT DEVELOPER, ITS SUCCESSORS AND ASSIGNS, FURTHER RESERVES THE UNRESTRICTED AND SOLE RIGHT AND POWER OF DESIGNATING SUCH ROADS, STREETS OR HIGHWAYS AS PUBLIC OR PRIVATE AND OF ALIENATING AND RELEASING THE PRIVILEGES, EASEMENTS AND RIGHTS RESERVED HEREIN.
- IN THE EVENT IT BECOMES NECESSARY TO AMEND THIS PLAN SUBSEQUENT TO THE RECORDED HEREOF FOR CORRECTION OF SCRIBER ERRORS HEREON, THE DEVELOPER HEREBY RESERVES THE RIGHT TO DO SO, UNILATERALLY, PROVIDED, HOWEVER, THAT ANY AMENDMENT WHICH MAY AFFECT THE OWNERSHIP INTEREST OF ANY THIRD PARTY SHALL NOT BE EFFECTIVE WITHOUT THE WRITTEN CONSENT OF SAID THIRD PARTY TO THE AMENDMENT.

DATED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_  
 COOPER HOMES INC.  
 BY \_\_\_\_\_  
 TITLE \_\_\_\_\_

- NOTES:
- EVERY DOCUMENT OF RECORD REVIEWED AND CONSIDERED AS A PART OF THIS SURVEY IS NOTED HEREON. ONLY THE DOCUMENTS NOTED HEREON WERE SUPPLIED THE SURVEYOR.
  - THE CONTRACTOR MUST DETERMINE THAT PROPOSED STRUCTURES ARE CLEAR OF ALL BOUNDARY LINES, EASEMENTS, AND MEET BUILDING SETBACK REQUIREMENTS BEFORE CONSTRUCTION BEGINS.
  - BASIS OF BEARINGS NAD83 STATE PLANE COORDINATE SYSTEM (AR NORTH ZONE).
  - THIS SURVEY IS VALID ONLY IF THE DRAWING INCLUDES THE SEAL AND SIGNATURE OF THE SURVEYOR.
  - BUILDING SETBACKS ARE AS FOLLOWS:  
 FRONT: 20 FEET  
 SIDE: 8 FEET  
 REAR: 20 FEET
  - BY SCALED MAP LOCATION AND GRAPHICAL PLOTTING ONLY. THIS PROPERTY IS LOCATED IN ZONE 'X' WHICH ARE AREA OF 0.2% CHANCE FLOOD AND NOT LOCATED WITHIN ANY PRESENTLY ESTABLISHED 100-YEAR FLOODPLAIN AS DETERMINED BY THE NATIONAL FLOOD INSURANCE PROGRAM, FLOOD INSURANCE RATE MAP FOR BENTON COUNTY, ARKANSAS.  
 MAP NUMBER: 05007C006J  
 MAP REVISED: SEPTEMBER 28, 2007
  - SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED NOR CONSIDERED A PART OF THIS SURVEY.
  - ALL EASEMENTS ARE 20.0' UTILITY EASEMENTS UNLESS OTHERWISE NOTED.
  - ALL SETBACK AREAS ARE RESERVED AS UTILITY, ACCESS, AND DRAINAGE EASEMENTS.

CERTIFICATE OF PRELIMINARY ENGINEERING ACCURACY  
 I, THOMAS OPPENHEIM, HEREBY CERTIFY THAT THIS PLAN CORRECTLY REPRESENTS A PLAN PREPARED UNDER MY DIRECTION AND ENGINEERING REQUIREMENTS OF THE BELLA VISTA SUBDIVISION REGULATIONS HAVE BEEN COMPLIED WITH.  
 SIGNED: \_\_\_\_\_ DATE OF EXECUTION: \_\_\_\_\_  
 REGISTERED REGISTERED ENGINEER  
 STATE OF ARKANSAS REGISTRATION NO. \_\_\_\_\_

CERTIFICATE OF PRELIMINARY PLAT APPROVAL  
 THIS PLAT HAS BEEN GIVEN PRELIMINARY PLAT APPROVAL ONLY AND HAS NOT BEEN APPROVED FOR RECORDING PURPOSES AS A PUBLIC RECORD. THIS CERTIFICATE EXPIRES ON \_\_\_\_\_ (DATE)  
 \_\_\_\_\_ DATE OF EXECUTION: \_\_\_\_\_  
 CHAIRMAN, CITY OF BELLA VISTA PLANNING COMMISSION



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 (479) 273-0844 FAX (479) 273-0844

**COUNTRY CLUB VILLAS**  
 DOGWOOD DRIVE  
 BELLA VISTA, ARKANSAS

PRELIMINARY PLAT  
 REV DATE 2/2/16  
 REV-7 SHEET NO. 3 OF 37

Line #	Length	Direction
L1	87.07	N35° 01' 54.94"W
L2	105.06	S55° 30' 58.26"W
L3	87.96	S37° 33' 32.68"E
L4	101.18	N55° 05' 04.84"E
L5	85.76	S34° 39' 35.21"E
L6	105.06	S55° 30' 58.26"W
L7	66.79	N37° 33' 32.68"W
L8	109.02	N57° 37' 37.37"E
L9	85.09	S32° 07' 36.06"E
L10	109.02	S57° 37' 37.37"W
L11	30.61	N27° 00' 09.39"W
L12	103.86	S62° 21' 52.22"E
L13	81.73	S20° 03' 48.86"E
L14	103.86	S62° 21' 52.22"W
L15	104.37	N76° 33' 42.94"E
L16	82.96	S7° 21' 35.29"E
L17	104.37	S76° 33' 42.94"W
L18	109.30	N86° 17' 30.99"E
L19	83.04	S1° 46' 12.46"W
L20	109.30	S86° 17' 30.99"W

Line #	Length	Direction
L21	113.20	S85° 25' 41.25"E
L22	80.73	S9° 23' 53.92"W
L23	113.20	N85° 25' 41.25"W
L24	114.36	S75° 07' 52.08"E
L25	83.93	S17° 24' 17.25"W
L26	114.36	N75° 07' 52.08"W
L27	46.38	N18° 20' 07.78"E
L28	114.77	S71° 18' 01.60"E
L29	90.37	S17° 24' 17.25"W
L30	114.77	N71° 18' 01.60"W
L31	84.17	N18° 20' 07.78"E
L32	113.43	S74° 25' 26.62"E
L33	91.59	S12° 43' 25.80"W
L34	113.43	N74° 25' 26.62"W
L35	19.25	N18° 20' 07.78"E
L36	107.83	S78° 17' 21.79"E
L37	91.46	S12° 43' 25.80"W
L38	107.83	N78° 17' 21.79"W
L39	111.77	S82° 09' 37.92"E
L40	95.98	S2° 37' 03.79"W

Line #	Length	Direction
L41	111.77	N82° 09' 37.92"W
L42	109.31	S88° 47' 14.03"E
L43	95.80	S2° 32' 25.11"E
L44	109.31	N88° 47' 14.03"W
L45	108.78	N84° 10' 24.84"E
L46	90.56	S7° 29' 20.25"E
L47	108.78	S84° 10' 24.84"W
L48	110.20	N80° 27' 49.60"E
L49	86.58	S11° 54' 45.15"E
L50	110.20	S80° 27' 49.60"W
L51	105.52	N79° 57' 27.29"E
L52	109.04	S83° 32' 31.24"E
L53	111.98	N85° 40' 59.15"W
L54	86.74	S4° 02' 18.57"W
L55	111.98	S85° 40' 59.15"E
L56	109.98	N85° 44' 30.23"W
L57	85.68	S4° 02' 18.57"W
L58	109.98	S85° 44' 30.23"E
L59	111.37	N80° 30' 48.56"W
L60	92.77	S4° 02' 18.57"W

Line #	Length	Direction
L61	111.37	S80° 30' 48.56"E
L62	117.02	N69° 17' 48.47"W
L63	99.53	S16° 09' 09.87"W
L64	117.02	S69° 17' 48.47"E
L65	74.02	N30° 47' 47.51"E
L66	121.86	N61° 01' 21.82"W
L67	96.61	S26° 52' 56.18"W
L68	121.86	S61° 01' 21.82"E
L69	85.85	N30° 47' 47.51"E
L70	119.90	N59° 31' 31.69"W
L71	89.07	S32° 01' 07.73"W
L72	119.90	S59° 31' 31.69"E
L73	58.53	N30° 47' 47.51"E
L74	134.28	N80° 20' 32.36"W
L75	70.80	S17° 30' 37.30"W
L76	134.28	S80° 20' 32.36"E
L77	12.39	N41° 35' 31.03"W
L78	122.09	S53° 48' 23.67"W
L79	48.87	S14° 51' 00.05"E
L80	122.09	N53° 48' 23.67"E

Line #	Length	Direction
L81	94.34	N41° 35' 31.03"W
L82	112.26	S48° 24' 28.93"W
L83	83.37	S35° 11' 36.95"E
L84	112.26	N48° 24' 28.93"E
L85	85.69	N41° 35' 31.03"W
L86	112.26	S48° 24' 28.93"W
L87	85.69	S41° 35' 31.03"E
L88	85.32	S38° 01' 13.83"E
L89	112.26	N48° 24' 28.93"E
L90	87.03	N41° 35' 31.03"W
L91	107.28	S44° 23' 09.20"W
L92	94.09	N54° 58' 19.54"E
L93	121.54	N55° 05' 54.55"W
L94	55.43	S48° 52' 02.49"W
L95	106.47	S50° 39' 20.55"E
L96	115.55	N18° 17' 38.06"E
L97	114.52	N80° 32' 30.57"W
L98	10.38	S10° 34' 33.58"W
L99	121.54	S55° 05' 54.55"E
L100	86.08	N8° 48' 06.69"E

Line #	Length	Direction
L101	111.87	N80° 44' 25.03"W
L102	81.57	S10° 34' 33.58"W
L103	114.52	S80° 32' 30.57"E
L104	90.18	N8° 48' 06.69"E
L105	112.02	N83° 29' 08.85"W
L106	111.87	S80° 44' 25.03"E
L107	93.16	N5° 47' 14.03"E
L108	112.73	N87° 55' 45.26"W
L109	112.02	S83° 29' 08.85"E
L110	84.26	N1° 41' 01.54"E
L111	111.53	N84° 47' 55.09"W
L112	112.73	S87° 55' 45.26"E
L113	74.40	N12° 48' 34.45"E
L114	117.30	N64° 35' 38.94"W
L115	38.98	S3° 07' 38.64"W
L116	111.53	S84° 47' 55.09"E
L117	49.20	N31° 36' 34.95"E
L118	117.91	N60° 00' 11.68"W
L119	74.14	S30° 47' 47.51"W
L120	117.30	S64° 35' 38.94"E

Line #	Length	Direction
L121	85.63	N31° 36' 34.95"E
L122	119.13	N60° 00' 11.68"W
L123	85.61	S30° 47' 47.51"W
L124	117.91	S60° 00' 11.68"E
L125	44.69	N30° 36' 21.74"E
L126	122.70	N69° 30' 00.28"W
L127	58.89	S30° 47' 47.51"W
L128	119.13	S60° 00' 11.68"E
L129	109.34	N13° 20' 02.72"E
L130	121.98	N85° 24' 43.71"W
L131	122.70	S69° 30' 00.28"E
L132	140.27	N4° 21' 35.55"W
L133	136.09	S58° 48' 32.81"W
L134	121.98	S85° 24' 43.71"E
L135	103.21	N41° 44' 53.85"W
L136	111.00	S49° 40' 24.53"W
L137	136.09	N58° 48' 32.81"E
L138	87.58	N41° 44' 53.85"W
L139	110.39	S48° 54' 32.82"W
L140	74.16	S41° 35' 31.03"E

TOTAL PROJECT DESCRIPTION

A TRACT OF LAND SITUATED IN THE NORTHEAST QUARTER (NE1/4) OF THE SOUTHEAST QUARTER (SE1/4) OF THE SOUTHWEST QUARTER (SW1/4) OF THE NORTHWEST QUARTER (NW1/4) OF SECTION 23 ALL BEING IN TOWNSHIP 21 NORTH, RANGE 31 WEST, BENTON COUNTY, ARKANSAS, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SECTION 22 PER PLAT BOOK L, PAGE 159; THENCE NORTH 00°00'00" WEST, A DISTANCE OF 1,315.74 FEET; THENCE NORTH 90°00'00" WEST, A DISTANCE OF 68.60 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352) AND THE POINT OF BEGINNING:

THENCE NORTH 08°41'32" WEST, A DISTANCE OF 531.57 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352); THENCE NORTH 41°56'30" WEST, A DISTANCE OF 455.24 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352); THENCE NORTH 19° 11' 19" WEST A DISTANCE OF 191.91 FEET; THENCE NORTH 47° 01' 38" EAST A DISTANCE OF 172.33 FEET; THENCE NORTH 31°36'35" EAST A DISTANCE OF 189.14 FEET; THENCE NORTH 11°06'28" EAST A DISTANCE OF 67.07 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352); THENCE NORTH 06°35'33" EAST, A DISTANCE OF 538.59 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352); THENCE NORTH 48°51'54" EAST, CROSSING THE WEST RIGHT-OF-WAY OF AFOREMENTIONED DOGWOOD DRIVE AT A DISTANCE OF 96.46 FEET AND CONTINUING FOR A TOTAL DISTANCE OF 136.71 FEET TO THE EAST RIGHT-OF-WAY OF AFOREMENTIONED DOGWOOD DRIVE;

THENCE ALONG SAID EAST RIGHT-OF-WAY THE FOLLOWING TWELVE (12) CURVES:

- (1) ALONG A CURVE TO THE LEFT, WITH A LENGTH OF 72.75 FEET, HAVING A RADIUS OF 661.61 FEET, THROUGH A CENTRAL ANGLE OF 06°18'01", AND HAVING A CHORD WHICH BEARS SOUTH 50°53'53" EAST, A DISTANCE OF 72.72 FEET;
- (2) ALONG A CURVE TO THE RIGHT, WITH A LENGTH OF 84.21 FEET, HAVING A RADIUS OF 416.74 FEET, THROUGH A CENTRAL ANGLE OF 11°34'42", AND HAVING A CHORD WHICH BEARS SOUTH 48°15'39" EAST, A DISTANCE OF 84.07 FEET;
- (3) SOUTH 40°00'56" EAST, A DISTANCE OF 22.35 FEET;
- (4) SOUTH 37°33'25" EAST, A DISTANCE OF 245.87 FEET;
- (5) ALONG A CURVE TO THE RIGHT, WITH A LENGTH OF 79.77 FEET, HAVING A RADIUS OF 432.83 FEET, THROUGH A CENTRAL ANGLE OF 10°33'37", AND HAVING A CHORD WHICH BEARS SOUTH 32°16'37" EAST, A DISTANCE OF 79.66 FEET;
- (6) SOUTH 26°59'48" EAST, A DISTANCE OF 30.62 FEET;
- (7) ALONG A CURVE TO THE RIGHT, WITH A LENGTH OF 500.21 FEET, HAVING A RADIUS OF 633.20 FEET, THROUGH A CENTRAL ANGLE OF 45°15'45", AND HAVING A CHORD WHICH BEARS SOUTH 04°21'56" EAST, A DISTANCE OF 487.31 FEET;
- (8) SOUTH 18°15'56" WEST, A DISTANCE OF 149.93 FEET;
- (9) ALONG A CURVE TO THE LEFT, WITH A LENGTH OF 380.11 FEET, HAVING A RADIUS OF 722.24 FEET, THROUGH A CENTRAL ANGLE OF 30°09'16", AND HAVING A CHORD WHICH BEARS SOUTH 03°11'18" WEST, A DISTANCE OF 375.74 FEET TO A FOUND 1/2" REBAR WITH CAP (LS#352);
- (10) SOUTH 11°53'19" EAST, A DISTANCE OF 20.00 FEET;
- (11) ALONG A CURVE TO THE RIGHT, WITH A LENGTH OF 493.22 FEET, HAVING A RADIUS OF 475.18 FEET, THROUGH A CENTRAL ANGLE OF 59°28'18", AND HAVING A CHORD WHICH BEARS SOUTH 17°50'49" WEST, A DISTANCE OF 471.38 FEET;
- (12) ALONG A CURVE TO THE LEFT, WITH A LENGTH OF 220.12 FEET, HAVING A RADIUS OF 249.05 FEET, THROUGH A CENTRAL ANGLE OF 50°38'20", AND HAVING A CHORD WHICH BEARS SOUTH 22°15'44" WEST, A DISTANCE OF 213.02 FEET;

THENCE LEAVING SAID EAST RIGHT-OF-WAY NORTH 34°37'18" WEST, A DISTANCE OF 76.14 FEET TO THE POINT OF BEGINNING AND CONTAINING 877,213 SQUARE FEET OR 20.14 ACRES, MORE OR LESS.

COMMON AREA NO. 3

A PORTION OF AREA NO. 2, OF BELLA VISTA GOLF COURSE SUBDIVISION, BELLA VISTA, BENTON COUNTY, ARKANSAS, AS FILED IN PLAT L, PAGE 157 BEING DESCRIBED MORE PARTICULARLY BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SECTION 22, TOWNSHIP 21 NORTH, RANGE 31 WEST; THENCE NORTH 00° 00' 00" EAST A DISTANCE OF 1,992.78 FEET; THENCE NORTH 90° 00' 00" WEST A DISTANCE OF 47.38 FEET TO THE SOUTHWEST CORNER OF LOT 23 OF SAID SUBDIVISION AND THE POINT OF BEGINNING:

THENCE NORTH 44° 23' 09" EAST A DISTANCE OF 107.28 FEET; THENCE NORTH 38° 01' 14" WEST A DISTANCE OF 85.32 FEET; THENCE NORTH 41° 35' 31" WEST A DISTANCE OF 85.69 FEET; THENCE NORTH 35° 11' 37" WEST A DISTANCE OF 83.37 FEET; THENCE NORTH 14° 51' 00" WEST A DISTANCE OF 48.87 FEET; THENCE NORTH 17° 38' 51" EAST A DISTANCE OF 70.80 FEET; THENCE NORTH 32° 01' 08" EAST A DISTANCE OF 69.07 FEET; THENCE NORTH 28° 52' 56" EAST A DISTANCE OF 96.61 FEET; THENCE NORTH 16° 09' 10" EAST A DISTANCE OF 95.53 FEET; THENCE NORTH 04° 02' 19" EAST A DISTANCE OF 265.18 FEET; THENCE NORTH 63° 32' 31" WEST A DISTANCE OF 109.04 FEET; THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, WITH A LENGTH OF 69.83 FEET, HAVING A RADIUS OF 1,429.91 FEET, THROUGH A CENTRAL ANGLE OF 02°47'59", AND HAVING A CHORD WHICH BEARS NORTH 09°10'34" EAST, A DISTANCE OF 69.82 FEET; THENCE NORTH 10° 34' 34" EAST A DISTANCE OF 91.96 FEET; THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, WITH A LENGTH OF 53.46 FEET, HAVING A RADIUS OF 80.00 FEET, THROUGH A CENTRAL ANGLE OF 38° 17' 29", AND HAVING A CHORD WHICH BEARS NORTH 29° 43' 18" EAST, A DISTANCE OF 52.48 FEET; THENCE NORTH 48° 52' 02" EAST A DISTANCE OF 46.77 FEET; THENCE ALONG A TANGENT CURVE TO THE RIGHT, WITH A LENGTH OF 15.91 FEET, HAVING A RADIUS OF 10.00 FEET, THROUGH A CENTRAL ANGLE OF 91° 10' 56", AND HAVING A CHORD WHICH BEARS SOUTH 85° 32' 29" EAST, A DISTANCE OF 14.29 FEET; THENCE SOUTH 39° 57' 01" EAST A DISTANCE OF 10.00 FEET; THENCE NORTH 50° 00' 50" EAST A DISTANCE OF 2.66 FEET; THENCE SOUTH 37° 32' 32" EAST A DISTANCE OF 39.75 FEET; THENCE SOUTH 55° 05' 05" WEST A DISTANCE OF 101.20 FEET; THENCE SOUTH 35° 01' 55" EAST A DISTANCE OF 87.07 FEET; THENCE SOUTH 34° 39' 35" EAST A DISTANCE OF 85.76 FEET; THENCE SOUTH 32° 07' 36" EAST A DISTANCE OF 85.09 FEET; THENCE SOUTH 20° 09' 40" EAST A DISTANCE OF 81.73 FEET; THENCE SOUTH 07° 21' 35" EAST A DISTANCE OF 82.96 FEET; THENCE SOUTH 01° 46' 12" WEST A DISTANCE OF 83.04 FEET; THENCE SOUTH 09° 23' 54" WEST A DISTANCE OF 80.73 FEET; THENCE SOUTH 17° 24' 17" WEST A DISTANCE OF 174.30 FEET; THENCE SOUTH 12° 48' 26" WEST A DISTANCE OF 183.04 FEET; THENCE SOUTH 02° 37' 04" WEST A DISTANCE OF 85.88 FEET; THENCE SOUTH 02° 32' 25" EAST A DISTANCE OF 95.80 FEET; THENCE SOUTH 07° 29' 20" EAST A DISTANCE OF 90.56 FEET; THENCE SOUTH 11° 54' 45" EAST A DISTANCE OF 86.58 FEET; THENCE NORTH 79° 57' 27" EAST A DISTANCE OF 105.52 FEET; THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, WITH A LENGTH OF 151.81 FEET, HAVING A RADIUS OF 435.18 FEET, THROUGH A CENTRAL ANGLE OF 19° 59' 17", AND HAVING A CHORD WHICH BEARS SOUTH 06° 20' 28" WEST, A DISTANCE OF 151.05 FEET; THENCE ALONG A NON-TANGENT CURVE TO THE RIGHT, WITH A LENGTH OF 7.17 FEET, HAVING A RADIUS OF 10.00 FEET, THROUGH A CENTRAL ANGLE OF 41° 06' 16", AND HAVING A CHORD WHICH BEARS SOUTH 87° 16' 10" WEST, A DISTANCE OF 7.02 FEET; THENCE NORTH 72° 10' 42" WEST A DISTANCE OF 70.35 FEET; THENCE ALONG A TANGENT CURVE TO THE RIGHT, WITH A LENGTH OF 87.82 FEET, HAVING A RADIUS OF 80.00 FEET, THROUGH A CENTRAL ANGLE OF 82° 53' 40", AND HAVING A CHORD WHICH BEARS NORTH 40° 43' 52" WEST, A DISTANCE OF 83.47 FEET; THENCE NORTH 09° 17' 02" WEST A DISTANCE OF 125.21 FEET; THENCE ALONG A NON-TANGENT CURVE TO THE LEFT, WITH A LENGTH OF 119.09 FEET, HAVING A RADIUS OF 235.72 FEET, THROUGH A CENTRAL ANGLE OF 28° 56' 44", AND HAVING A CHORD WHICH BEARS NORTH 25° 44' 47" WEST, A DISTANCE OF 117.82 FEET TO THE POINT OF BEGINNING AND CONTAINING 165,580 SQUARE FEET OR 3.80 ACRES, MORE OR LESS.

Line #	Length	Direction
L141	111.00	N49° 40' 24.53"E
L142	85.74	N41° 44' 53.85"W
L143	110.15	S48° 54' 32.82"W
L144	85.74	S41° 35' 31.03"E
L145	110.39	N48° 54' 32.82"E
L146	81.74	N41° 44' 53.85"W
L147	111.59	S58° 18' 17.34"W
L148	99.96	S41° 35' 31.03"E
L149	110.15	N48° 54' 32.82"E
L150	79.58	N30° 43' 14.70"W
L151	114.92	S72° 10' 20.37"W
L152	19.58	S41° 35' 31.03"E
L153	111.59	N58° 18' 17.34"E
L154	83.39	N11° 20' 16.53"W
L155	111.76	S78° 57' 35.09"W
L156	82.82	S9° 17' 02.05"E
L157	114.92	N72° 10' 20.37"E
L158	41.66	N9° 17' 02.05"W
L159	117.76	N65° 39' 39.10"E
L160	105.74	S11° 20' 16.53"E

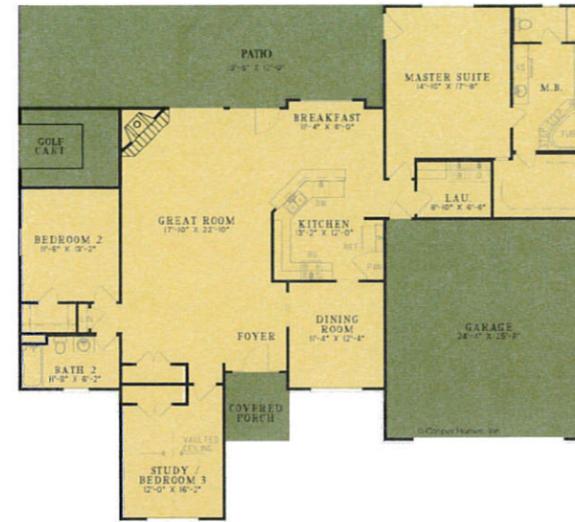
Line #	Length	Direction
L161	111.76	S78° 57' 35.09"W
L162	117.76	N65° 39' 39.10"E
L163	18.90	N11° 20' 16.53"W
L164	105.89	N47° 10' 01.25"W
L165	117.23	S42° 30' 36.48"W
L166	102.78	N46° 46' 59.77"W
L167	100.49	S46° 46' 59.77"E
L168	82.83	N43° 13' 00.23"W
L169	11.53	N8° 41' 13.22"W
L170	98.64	N46° 46' 59.77"W
L171	102.78	S46° 46' 59.77"E
L172	76.21	N43° 13' 00.23"E
L173	34.45	N30° 22' 33.11"E
L174	54.31	N31° 36' 34.95"W
L175	245.97	S37° 33' 32.68"E
L176	30.61	S27° 00' 09.42"E
L177	149.80	S18° 20' 07.78"W
L178	20.00	S11° 49' 11.01"E
L179	65.60	S17° 21' 27.13"W
L180	10.08	N34° 37' 18.27"W

Line #	Length	Direction
L181	531.57	N8° 41' 32.27"W
L182	455.24	N41° 56' 30.27"W
L183	191.91	N19° 11' 18.90"W
L184	172.33	N47° 01' 37.83"E
L185	189.14	N31° 36' 34.95"E
L186	67.07	N11° 06' 27.73"E
L187	538.59	N6° 35' 32.73"E
L188	96.43	N48° 51' 53.73"E
L189	18.86	S40° 00' 50.32"E
L190	40.00	N42° 37' 16.13"E
L193	20.56	S40° 00' 50.32"E
L194	128.44	S37° 37' 37.76"E
L195	118.21	S37° 32' 44.34"E
L197	30.70	S26° 59' 07.34"E
L199	149.92	S18° 20' 07.99"W
L200	68.51	S1



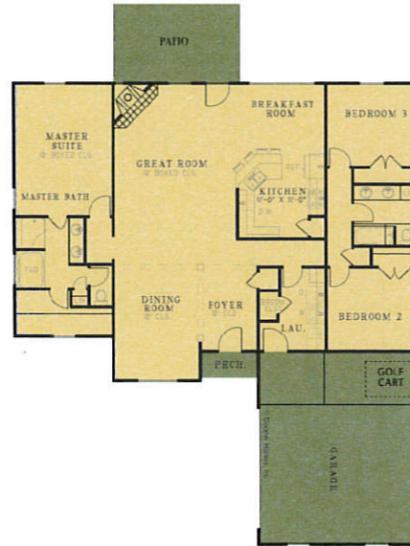
1,833 sq. ft • 3 Bedroom • 2 Bath • Front Covered Porch • Patio

*The Stillwater*



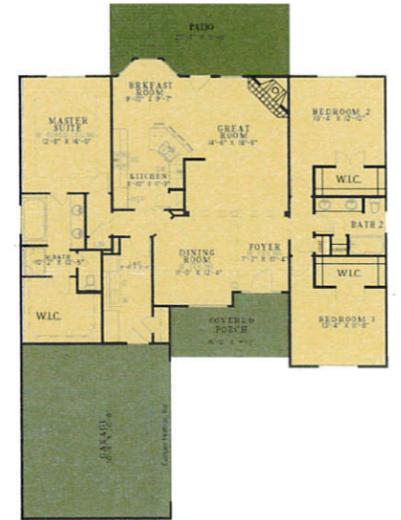
2,097 sq. ft • 3 Bedroom • 2 Bath • Front Covered Porch • Patio

*The Poncewood*



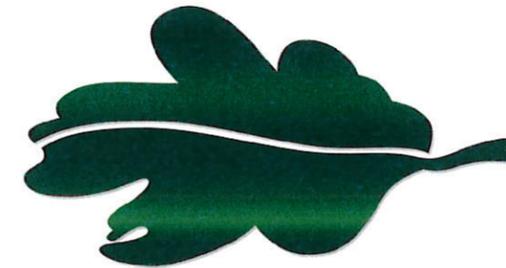
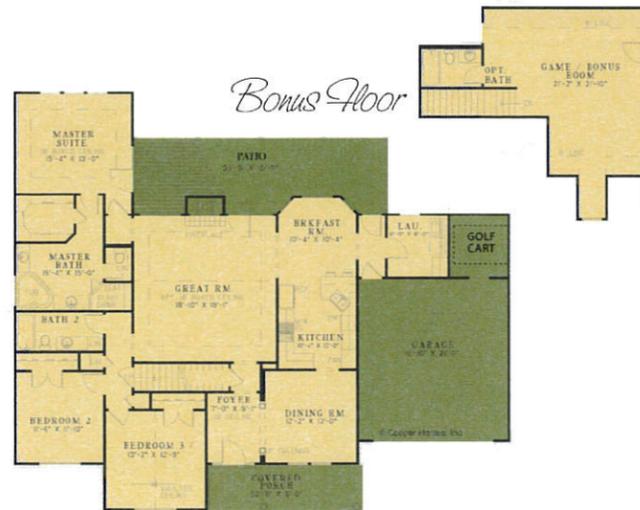
*The Lincoln*

1,931 sq. ft • 3 Bedroom • 2 Bath • Front Covered Porch • Patio



*The Grandview*

1,930 sq. ft • 4 Bedroom • 2 Bath • Front Covered Porch • Patio



COUNTRY CLUB VILLAS  
BY COOPER HOMES

*Main Floor*

1,957 sq. ft • 3 Bedroom • 2 Bath • Front Covered Porch • Patio

*The Evergreen*

DRAFT OF DISCLAIMER FOR DISCUSSION PURPOSES 10.22.15 The plans are artist's and architect's renderings and may contain options and features that are not standard and may not be available on all models or homes. The Developer reserves the right to make changes to these plans, specifications, dimensions, elevations, materials, exterior finishes, and exterior features, and to rotate the floor plans. Stated dimensions and square footages are approximates. Due to normal construction tolerances, dimensions and square footages may vary slightly from those shown on the plans or otherwise indicated. Not all floor plans are available for every lot. Landscaping depicted is an artist's rendition, is for illustration purposes only, may vary in number, maturity, location, and/or for individual homes, and is subject to change. The plans have been created by the Developer for use by the City of Bella Vista Planning Commission only. No other person may rely upon these plans. These plans may not be copied or reproduced, in part or in whole in any form or by any method, without express written consent of the Developer. All plans and illustration contained in this presentation are the exclusive property of Cooper Homes, Inc. © Copyright Cooper Homes, Inc., 2015. All rights reserved. Developer: Cooper Homes, Inc., 903 North 47th Street, Suite 101, Rogers, Arkansas 72756.





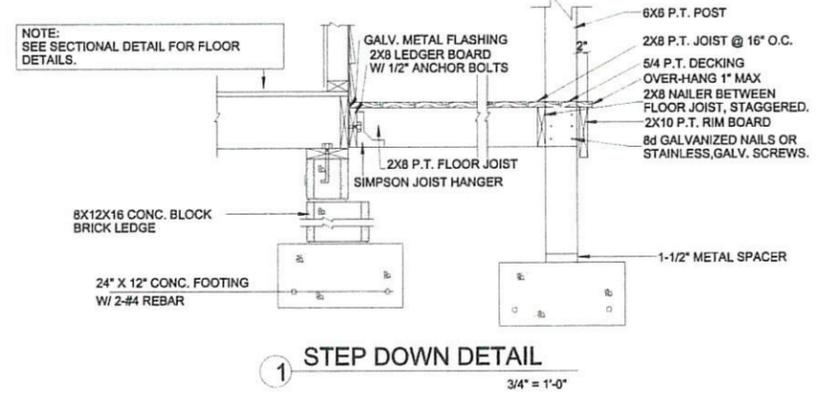
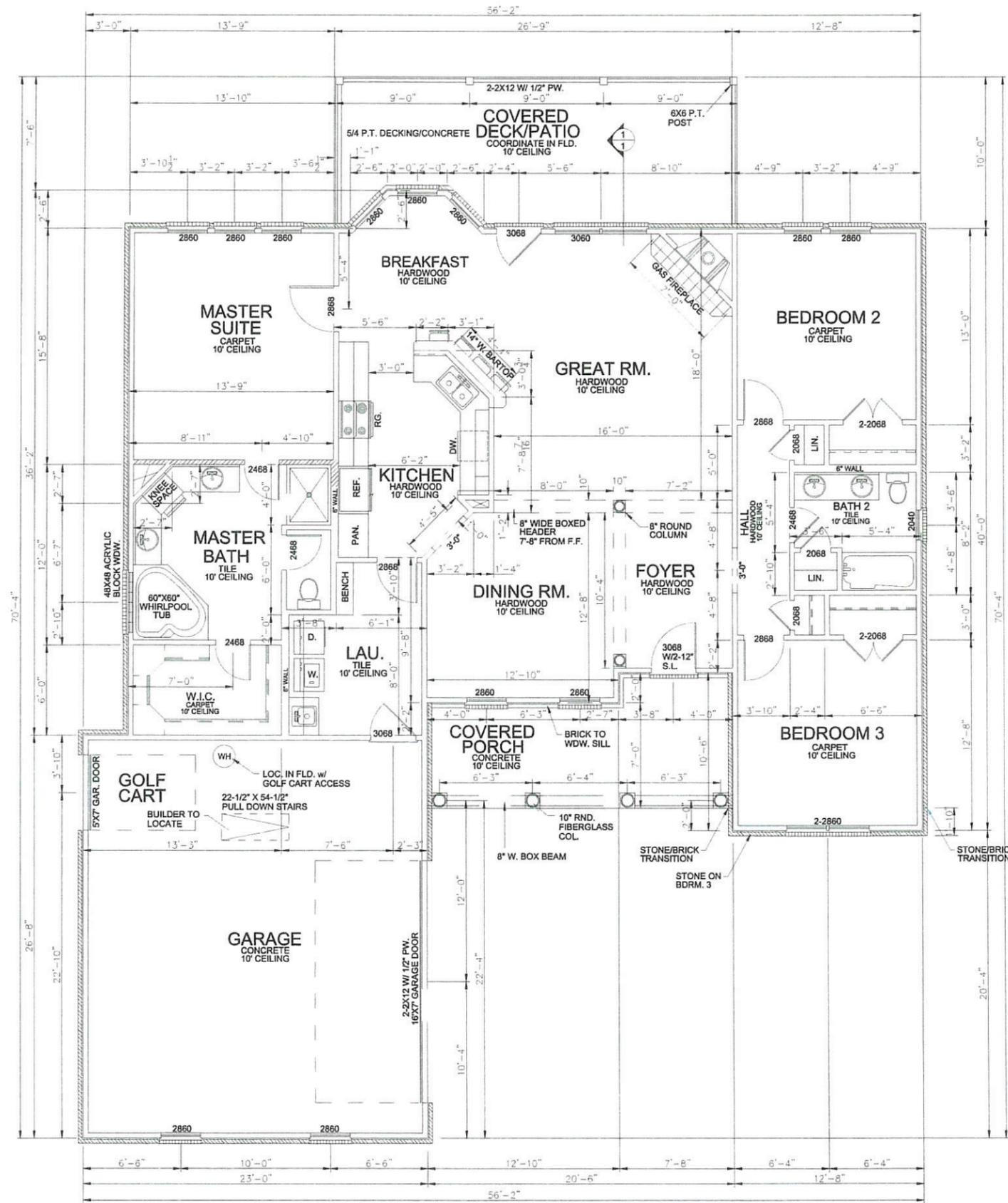
*The Evergreen*

*The Poncewood*

*The Lincoln*



DRAFT OF DISCLAIMER FOR DISCUSSION PURPOSES 10.22.15 The plans are artist's and architect's renderings and may contain options and features that are not standard and may not be available on all models or homes. The Developer reserves the right to make changes to these plans, specifications, dimensions, elevations, materials, exterior finishes, and exterior features, and to rotate the floor plans. Stated dimensions and square footages are approximates. Due to normal construction tolerances, dimensions and square footages may vary slightly from those shown on the plans or otherwise indicated. Not all floor plans are available for every lot. Landscaping depicted is an artist's rendition, is for illustration purposes only, may vary in number, maturity, location, and/or for individual homes, and is subject to change. The plans have been created by the Developer for use by the City of Bella Vista Planning Commission only. No other person may rely upon these plans. These plans may not be copied or reproduced, in part or in whole in any form or by any method, without express written consent of the Developer. All plans and illustration contained in this presentation are the exclusive property of Cooper Homes, Inc. © Copyright Cooper Homes, Inc., 2015. All rights reserved. Developer: Cooper Homes, Inc., 903 North 47th Street, Suite 101, Rogers, Arkansas 72756.



**FLOOR PLAN SPECIFICATIONS**

HEAT/COOLED MAIN FLOOR SQ. FT.:	1,833 frame / 1,893 brick
GARAGE & GOLF CART SQ. FT.:	607 frame / 633 brick

**NOTE:**

1. ALL CEILINGS TO BE 10'-0" UNLESS NOTED.
2. VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
3. ALL STRUCTURAL REQUIREMENTS TO BE DETERMINED BY OTHERS.
4. HVAC TO BE IN ATTIC UNLESS NOTED OTHERWISE.

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**CUSTOMER / CONTRACTOR NOTE**

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PRELIMINARY	PRINTS ISSUED FOR	REV #	DATE
		11/14/15	

903 N. 47th Street  
Rogers Arkansas 72756  
800-648-6401

**COOPER HOMES**

Contractor Information:

**COOPER HOMES**  
Conner Custom Homes

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Project Information:

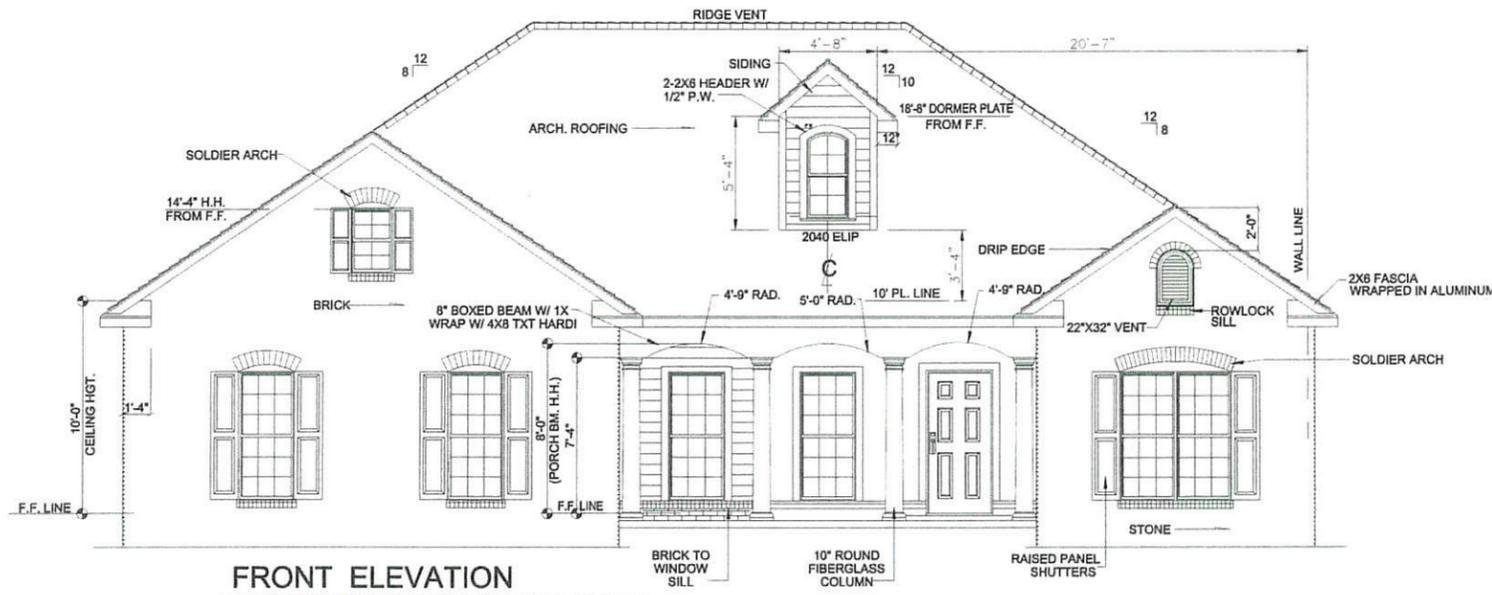
Floor Plan  
Plan Name: "The Stillwater"

**CADesign**  
Drafting Service, Inc.

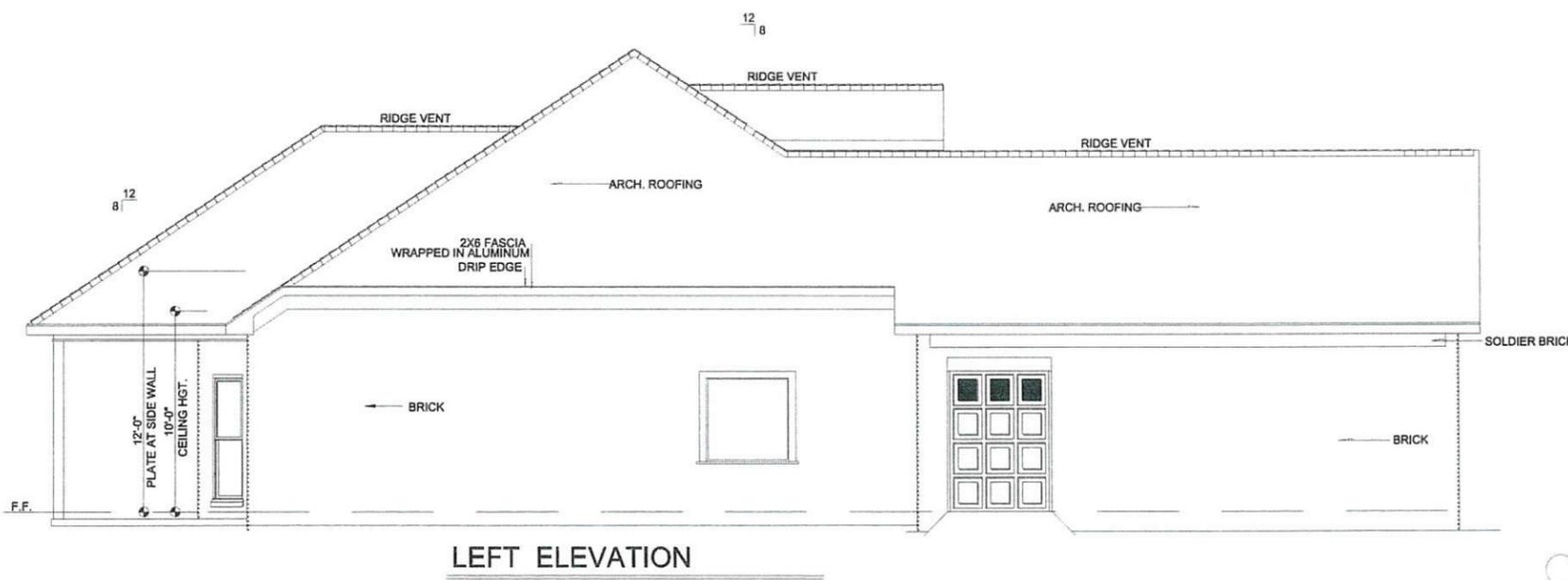
2049 Reed Avenue  
Springdale, Arkansas 72764  
Call (479) 530-7424  
e-mail - cadesign@cox.net

Drawing Number  
CAD-6002

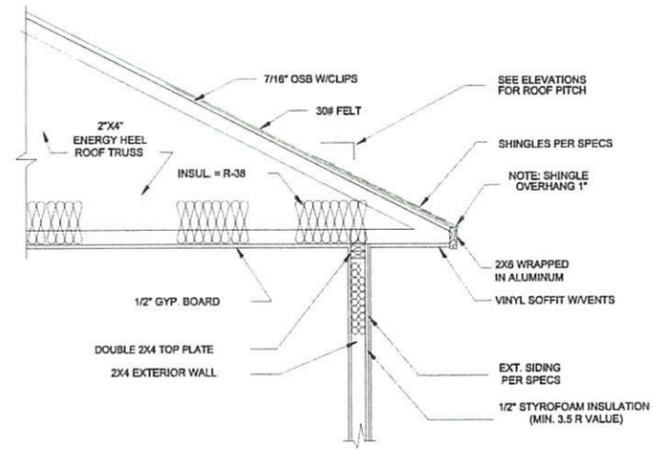
Sheet Number  
1 of 3



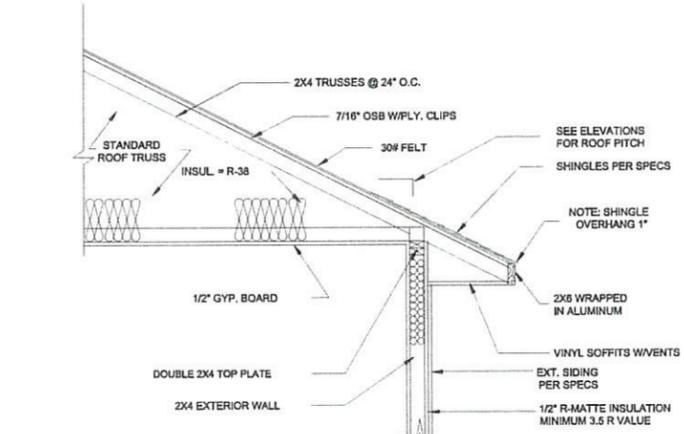
FRONT ELEVATION



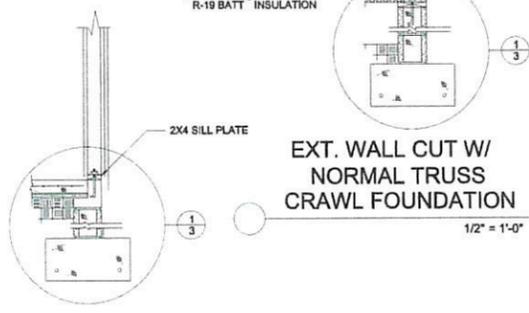
LEFT ELEVATION



EXT. WALL CUT W/ ENERGY TRUSS  
1/2" = 1'-0"



EXT. WALL CUT W/ NORMAL TRUSS CRAWL FOUNDATION  
1/2" = 1'-0"



SLAB FOUNDATION SECTIONAL DETAIL  
3/4" = 1'-0"

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		11/14/15
PRINTS ISSUED FOR		

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Rogers Arkansas 72756  
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**COOPER HOMES**

Contractor Information:  
**COOPER**  
Comner Custom Homes  
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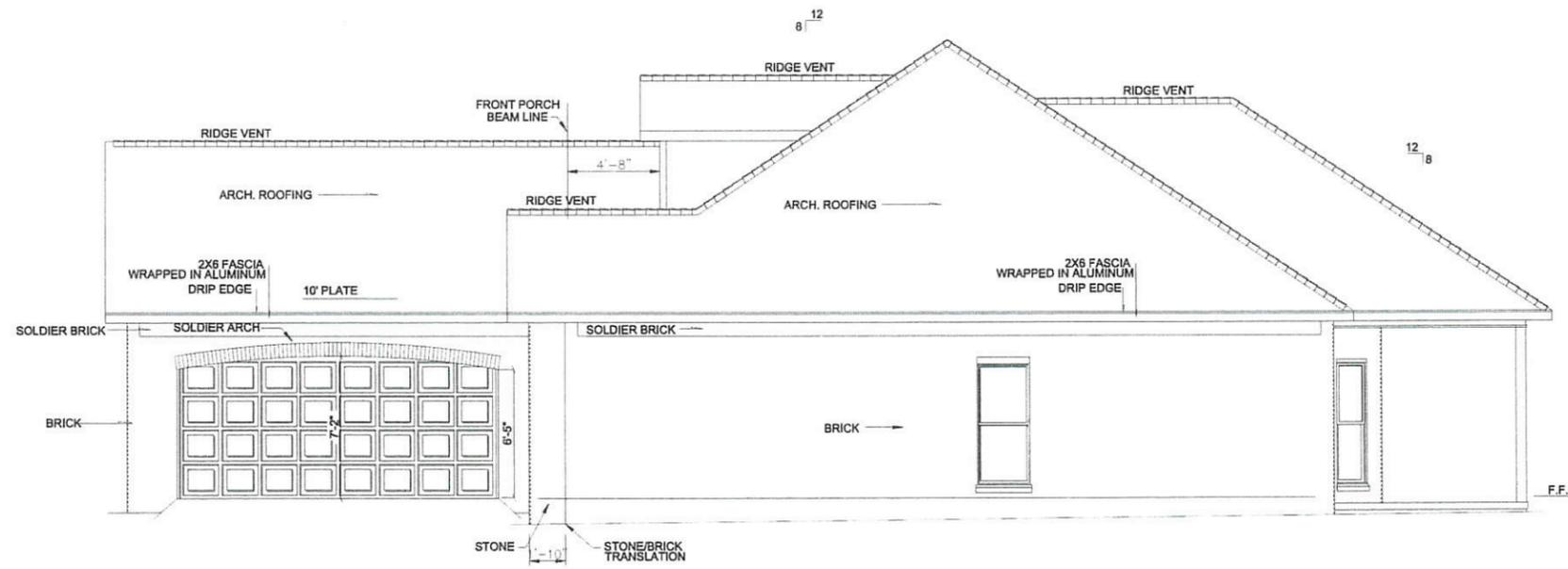
Project Information:  
Exterior Elevations  
Plan Name:  
"The Stillwater"

**CADESIGN**  
Drafting Service, Inc.  
2049 Reed Avenue  
Springdale, Arkansas 72764  
Cell (479) 530-7424  
e-mail - cadesign@cox.net

Drawing Number  
CAD-6002  
Sheet Number  
2 of 3



REAR ELEVATION



RIGHT ELEVATION

ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS, FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
2. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE.
3. PROVIDE ATTIC VENTILATION PER LOCAL CODE REQUIREMENTS.
4. EXTERIOR FLASHING SHALL BE CORRECTLY INSTALLED AT ALL CONNECTIONS BETWEEN ROOFS, WALLS, CHIMNEYS, PROJECTIONS AND PENETRATIONS AS REQUIRED BY APPROVED CONSTRUCTION PRACTICES.
5. CONTRACTOR SHALL PROVIDE ADEQUATE ATTIC VENTILATIONS / ROOF VENTS PER LOCAL GOVERNING CODE. INSTALL CONTINUOUS RIDGE VENTILATION AND PAINT TO MATCH ROOF. PROVIDE APPROPRIATE SOFFIT VENTILATION AT OVERHANGS.

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**CUSTOMER / CONTRACTOR NOTE**  
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PRELIMINARY	ISSUED FOR	REV.#	DATE
			11/14/15

903 N. 47th Street  
 Rogers, Arkansas 72756  
 800-648-6401

**COOPER HOMES**

Contractor Information:

**COCHI**  
 Conner Custom Homes

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Project Information:

Exterior Elevations

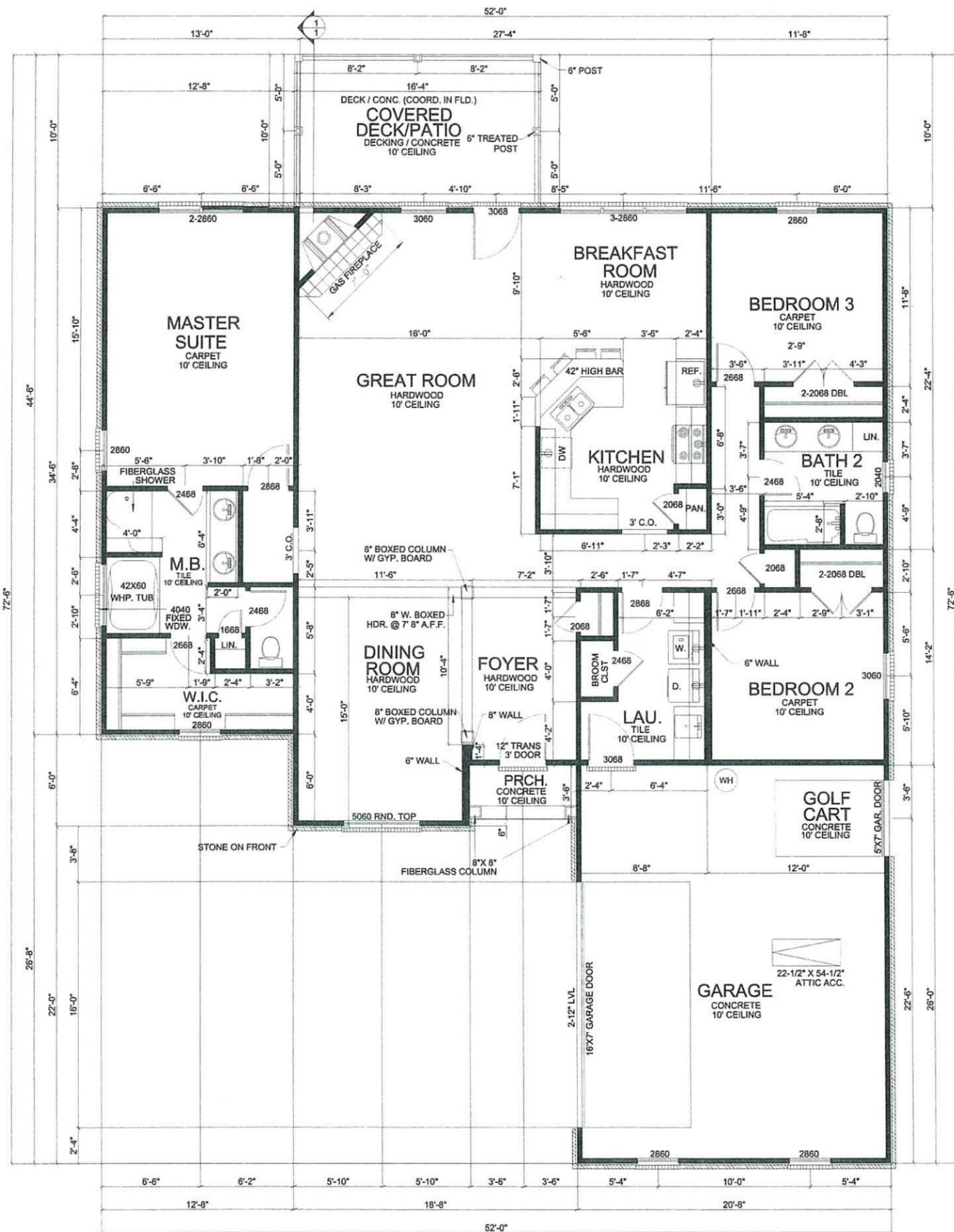
Plan Name:  
 "The Stillwater"

**CADesign**  
 Drafting Service, Inc.

2049 Reed Avenue  
 Springdale, Arkansas 72764  
 Cell (479) 530-7424  
 e-mail: cadesign@cox.net

Drawing Number  
 CAD-6002

Sheet Number  
 3 of 3



**FLOOR PLAN NOTES:**

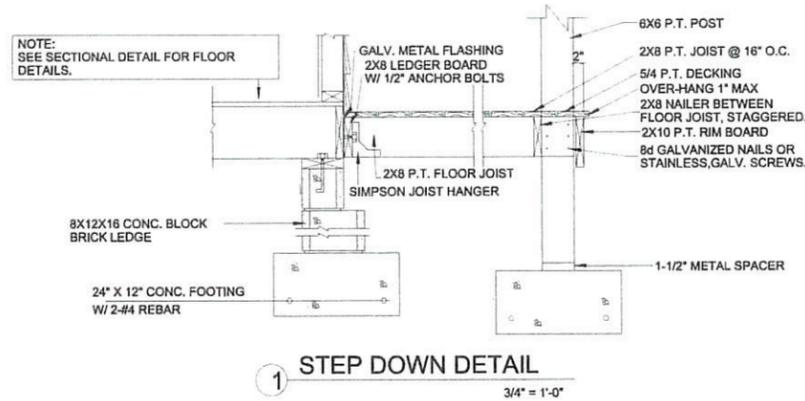
1. ALL STRUCTURAL INFORMATION SHOWN FOR REFERENCE PURPOSES ONLY. CONTRACTOR SHALL HAVE LICENSED STRUCTURAL ENGINEER REVIEW AND DESIGN ALL STRUCTURAL ELEMENTS SUCH AS ALL FRAMING WALLS, BEAMS, CONNECTIONS, HEADERS, JOISTS AND RAFTERS.
2. ALL DIMENSIONS ARE FROM FACE OF STUD TO FACE OF STUD UNLESS NOTED OTHERWISE.
3. WINDOW SIZES INDICATED ON PLANS ARE NOTED BY APPROXIMATE ROUGH OPENING SIZE. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
4. COORDINATE LOCATION OF UTILITY METERS WITH SITE PLAN AND LOCATE AWAY FROM PUBLIC VIEW. VISUAL IMPACT SHALL BE MINIMIZED, I.E. MOUNT AS LOW AS POSSIBLE.
5. PREFABRICATED FIREPLACE CONSTRUCTION SHALL MEET OR EXCEED ALL APPLICABLE CODES REGARDING USE OF FIRE SEPARATIONS, CLEARANCES, ETC. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE THAT ALL ITEMS AND CONSTRUCTION MEET OR EXCEED CODE. OVERALL FLUE HEIGHT SHALL BE COORDINATED TO MATCH HEIGHT SHOWN ON PLANS AND SHALL NOT EXCEED THE TOP OF CHIMNEY CHASE AS CONSTRUCTED.
6. CONTRACTOR SHALL COORDINATE ALL CLOSET SHELVING REQUIREMENTS.
7. DO NOT SCALE DRAWINGS, FOLLOW DIMENSIONS ONLY.
8. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
9. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT. A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
10. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
11. ALL EXPOSED INSULATION SHALL HAVE A FLAME SPREAD RATING OF LESS THAN 25 AND A SMOKE DENSITY RATING OF LESS THAN 450.
12. PROVIDE COMBUSTION AIR VENTS, WITH SCREEN AND BACK DAMPER, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME.
13. BATHROOMS SHALL BE VENTED TO THE OUTSIDE WITH A MINIMUM OF A 90 CFM FAN.
14. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE.
15. ALL WALLS AND CEILINGS IN GARAGE AND GARAGE STORAGE AREAS TO HAVE 1/2" TYPE-X GYP. BOARD W/ 1-HOUR FIRE RATING. ALL EXT. DOORS IN GARAGE TO BE METAL OR SOLID CORE DOORS INCLUDING DOORS ENTERING HEAT/COOLED PORTION OF RESIDENCE.
16. ALL FIREPLACE CHASE WALLS SHALL BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL 'DRAFT STOPS' AT EACH FLOOR LEVEL BY PACKING 6" (R-19) INSULATION BETWEEN 2X4 JOISTS.
17. ALL INTERIOR WALLS SHALL BE COVERED WITH 1/2" GYPSUM BOARD, WITH METAL CORNER REINFORCING, TAPE FLOAT AND SAND. (3 COATS) USE 1/2" GYPSUM BOARD ON CEILINGS WHEN SUPPORTING MEMBERS ARE 24" O.C. OR GREATER. USE 1/2" GYPSUM BOARD ON CEILING MEMBERS LESS THAN 24" O.C.
18. ALL BATH AND TOILET AREA WALLS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

**INSULATION NOTES:**

1. PROVIDE R-19 BATT INSULATION IN 2X6 WALLS, R-13 IN 2X4 WALLS, MINIMUM R-38 INSULATION IN FLAT CEILINGS AND R-38 MINIMUM BLANKET INSULATION IN VAULTED CEILINGS. ALLOW 1/2" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, FACE FOIL DOWN TO WARM SIDE.
2. INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR HEATING DUCTWORK. CAULK ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
3. FLOORS OVER UNHEATED SPACE SHALL HAVE R-19 PAPER BACK INSULATION BETWEEN JOISTS.
4. SLAB EDGE INSULATION R-5.
5. HVAC DUCTS LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH R-8.

**PLUMBING NOTES:**

1. PLUMBING SHALL MEET ALL LOCAL CODES.
2. IF WATER HEATER IS LOCATED ANYWHERE, EXCEPT GARAGE OR BASEMENT, PROVIDE METAL DRAIN PAN WITH AUXILIARY DRAIN TO EXTERIOR.
3. ALL GAS WATER HEATERS SHALL BE VENTED AT TOP/OUT.
4. PROVIDE INSIDE MAIN WATER CUT-OFF.
5. PROVIDE BLOCKING IF WALL PLATES OR JOISTS ARE CUT INTO.



**FLOOR PLAN SPECIFICATIONS**

HEAT/COOLED MAIN FLOOR SQ. FT.: 1,919 frame / 1,971 brick  
 GARAGE & GOLF CART SQ. FT.: 537 frame / 561 brick

**NOTE:**

1. ALL CEILINGS TO BE 10'-0" UNLESS NOTED.
2. VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
3. ALL STRUCTURAL REQUIREMENTS TO BE DETERMINED BY OTHERS.
4. HVAC TO BE IN ATTIC UNLESS NOTED OTHERWISE.

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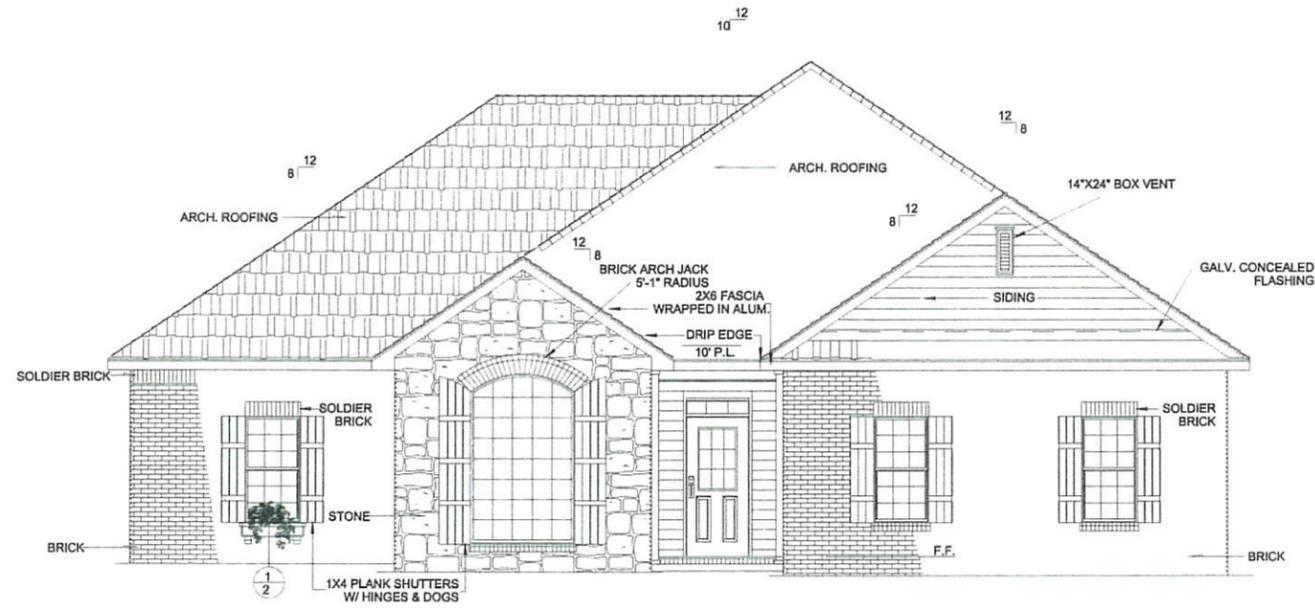
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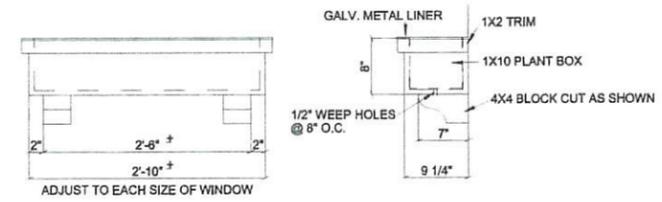
DATE	11/14/15
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Contractor Information:  
**COOPER HOMES**  
 Conner Custom Homes  
 903 N. 47th Street  
 Rogers, Arkansas 72756  
 800-648-6401

Project Information:  
 Floor Plan  
 Plan Name: "The Lincoln"



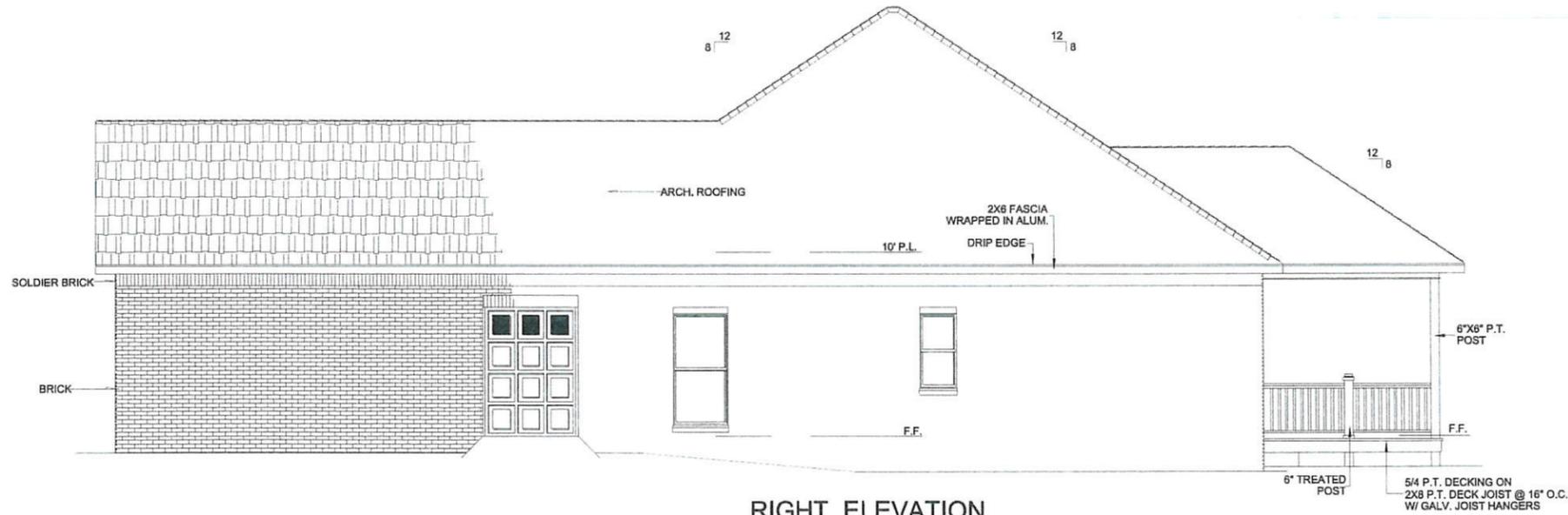
FRONT ELEVATION



1 OPT. PLANT BOX DETAIL  
1" = 1'-0"

ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS, FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
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RIGHT ELEVATION

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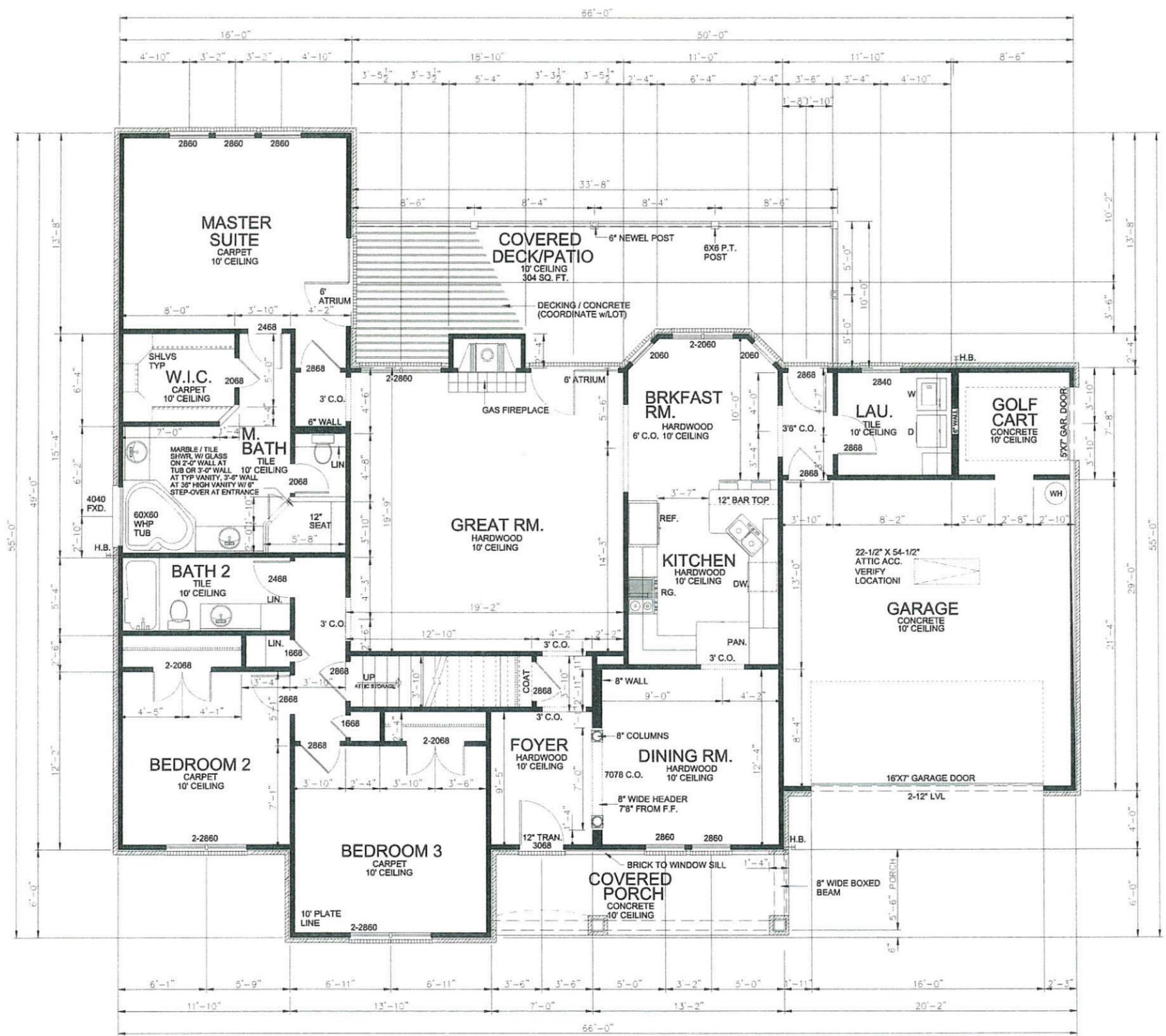
Contractor Information:  
**COCHI**  
Comer Custom Homes  
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Project Information:  
Exterior Elevations  
Plan Name:  
"The Lincoln"

**CADesign**  
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Springdale, Arkansas 72764  
Cell (479) 539-7424  
e-mail - cadesign@cox.net

Drawing Number  
CAD-6004  
Sheet Number  
2 of 3

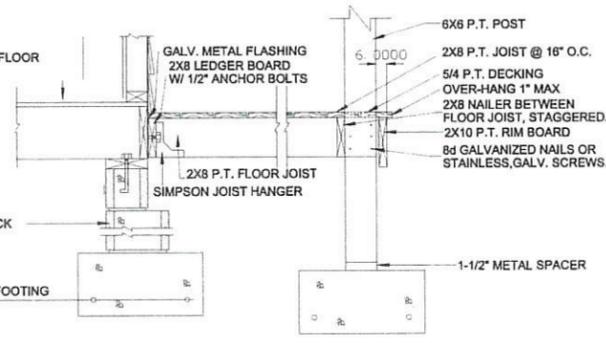




**FLOOR PLAN NOTES:**

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18. ALL BATH AND TOILET AREA WALLS SHALL HAVE WATER RESISTANT GYPSUM BOARD.

NOTE: SEE SECTIONAL DETAIL FOR FLOOR DETAILS.



**1 STEP DOWN DETAIL**  
3/4" = 1'-0"

**FLOOR PLAN SPECIFICATIONS**

HEAT/COOLED MAIN FLOOR SQ. FT.:	1,965 frame / 2,028 brick
GARAGE & GOLF CART SQ. FT.:	492 frame / 511 brick

**NOTE:**

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DATE	11/14/15
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Contractor Information:

**COOPER HOMES**  
903 N. 47th Street  
Rogers, Arkansas 72756  
800-648-6401

Contractor Information:  
**COOPER HOMES**  
Cooper Custom Homes  
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Project Information:

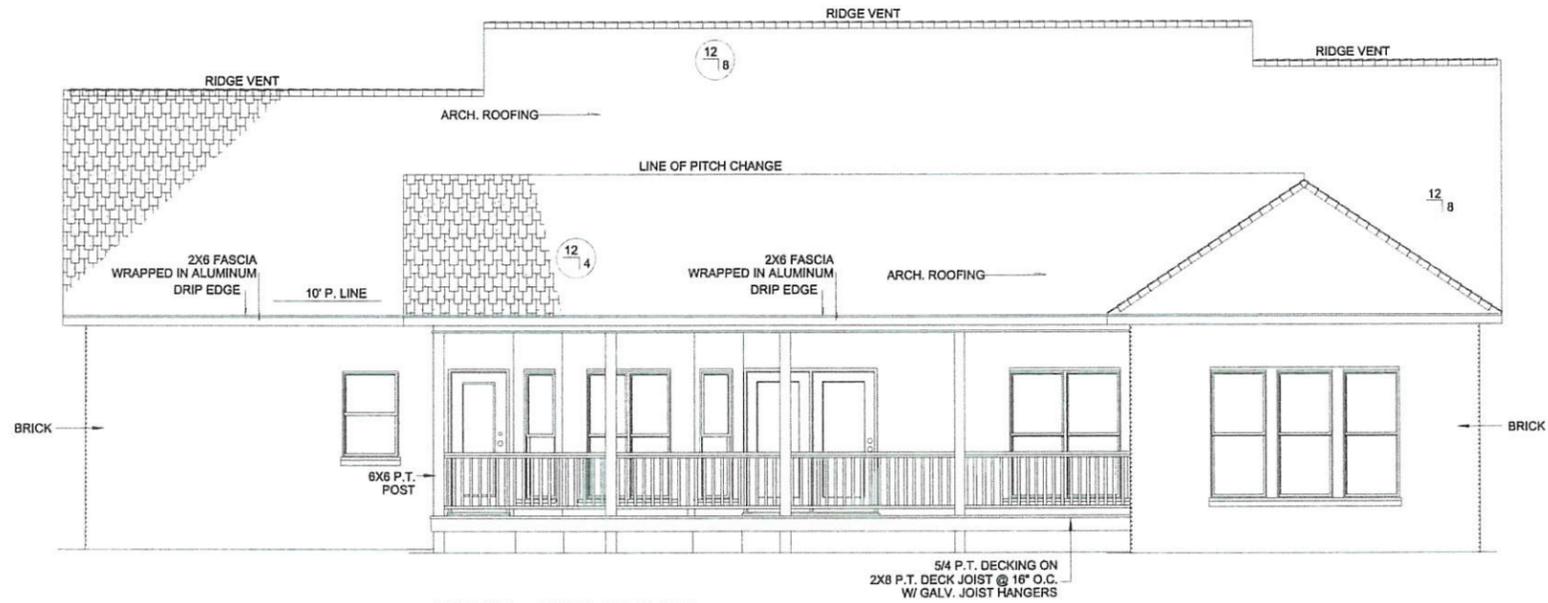
Floor Plan  
Plan Name: "The Evergreen"

**CADesign**  
Drafting Service, Inc.  
2049 Reed Avenue  
Springdale, Arkansas 72764  
Cell (479) 539-7424  
e-mail - cadesign@cov.net

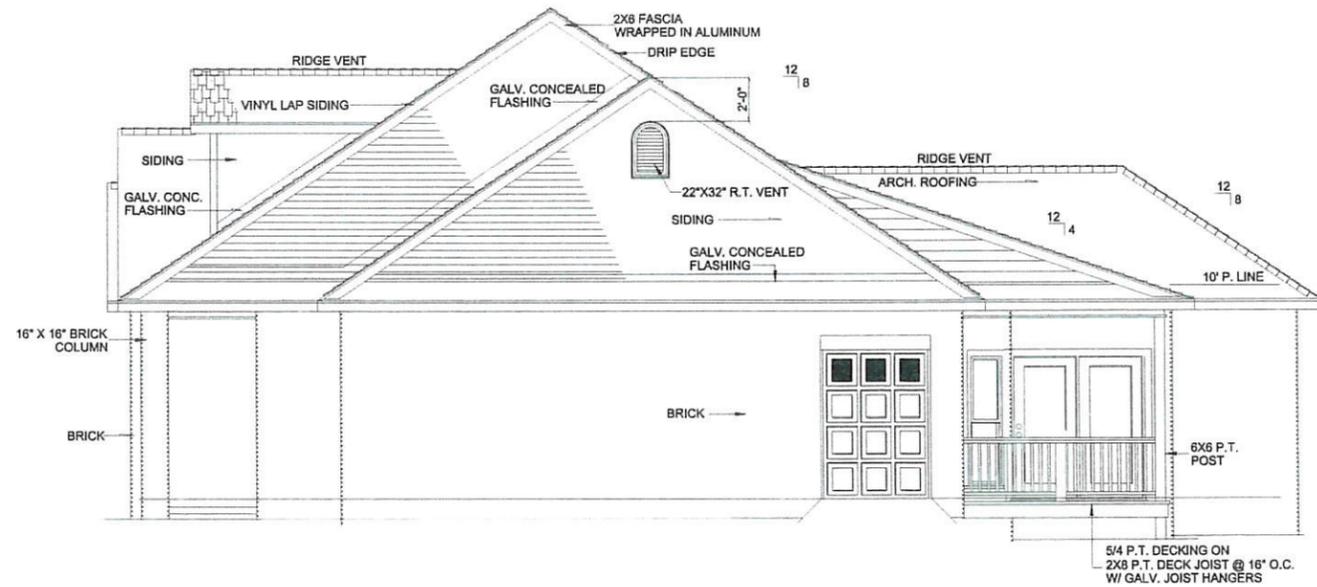
Drawing Number  
**CAD-6001**

Sheet Number  
**1 of 4**





REAR ELEVATION



RIGHT ELEVATION

ELEVATION NOTES:

1. GUTTERS AND DOWNSPOUTS ARE NOT SHOWN FOR CLARITY. DOWNSPOUTS SHALL BE LOCATED TOWARDS THE FRONT AND REAR OF THE HOUSE. LOCATE DOWNSPOUTS IN NON-VISUALLY OFFENSIVE LOCATIONS. FOR EXAMPLE, FRONT WALL OF HOUSE, BESIDE PORCH COLUMNS, ETC. GENERAL CONTRACTOR SHALL VERIFY EXISTING GRADES AND COORDINATE ANY NECESSARY ADJUSTMENTS TO HOUSE WITH OWNER.
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**COOPER HOMES**

Contractor Information:  
**COOPER**  
Conner Custom Homes  
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Project Information:  
Exterior Elevations  
Plan Name:  
"The Evergreen"

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Cell (479) 520-7424  
e-mail - cadesign@cox.net

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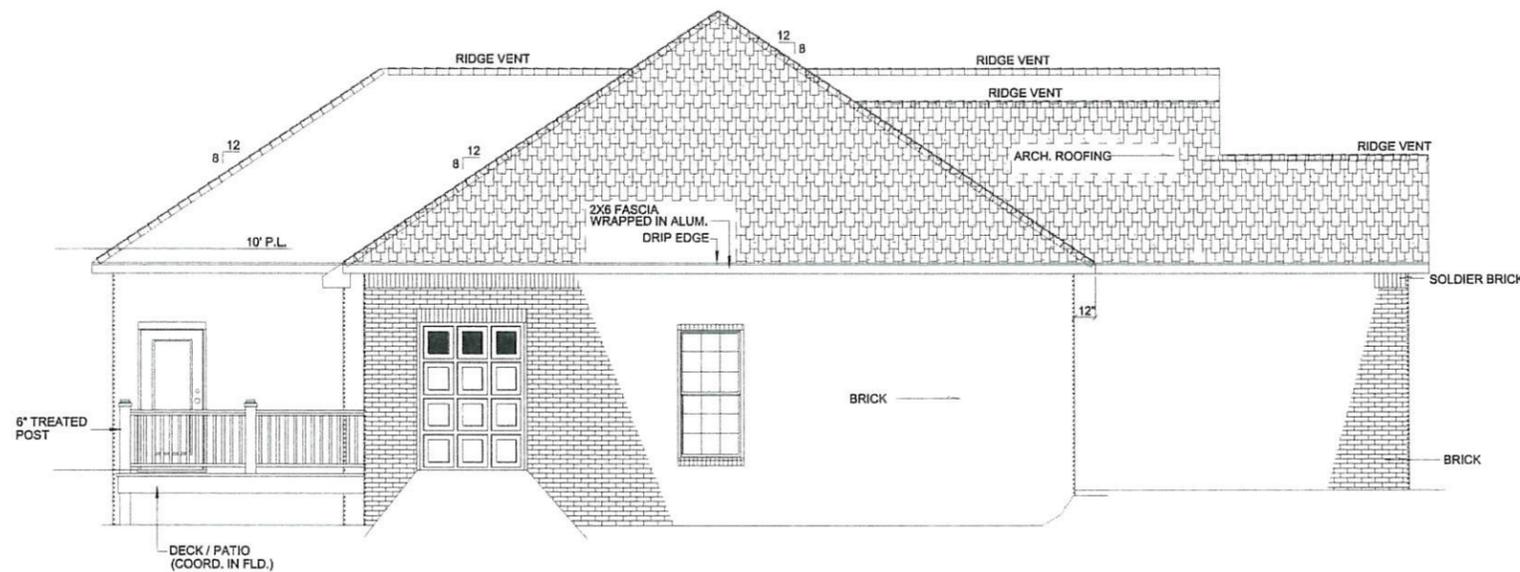
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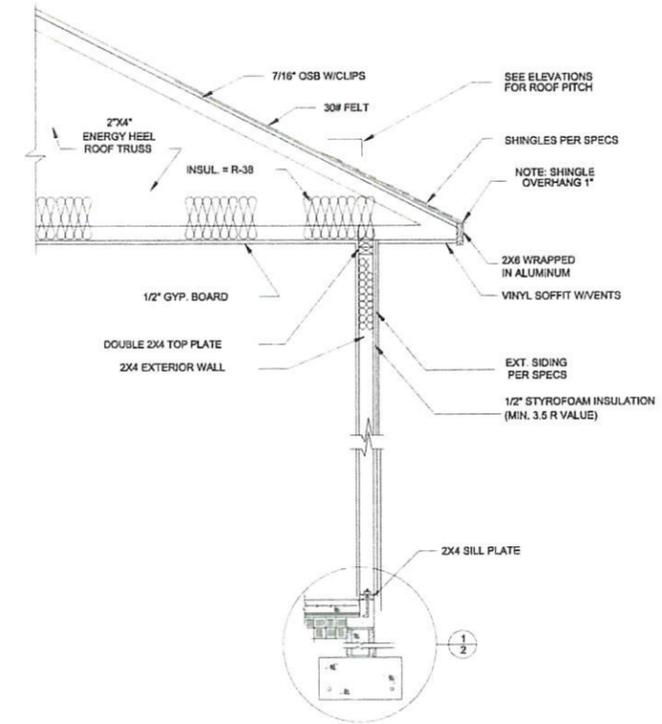




FRONT ELEVATION



LEFT ELEVATION



EXT. WALL CUT W/  
ENERGY TRUSS  
SLAB FOUNDATION

1/2" = 1'-0"

ELEVATION NOTES:

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PRELIMINARY	REV.#	DATE

903 N. 47th Street  
Rogers, Arkansas 72756  
800-648-6401

**COOPER**  
HOMES

Contractor Information:

**CHI**  
Conner Custom Homes

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Project Information:

Exterior Elevations

Plan Name:  
"The Poncewood"

**CADesign**  
Drafting Service, Inc.

2049 Reed Avenue  
Springdale, Arkansas 72764  
Call (479) 530-7424  
e-mail - cadesign@coi.net

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CAD-6003

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2 of 3



REAR ELEVATION

INSULATION NOTES:

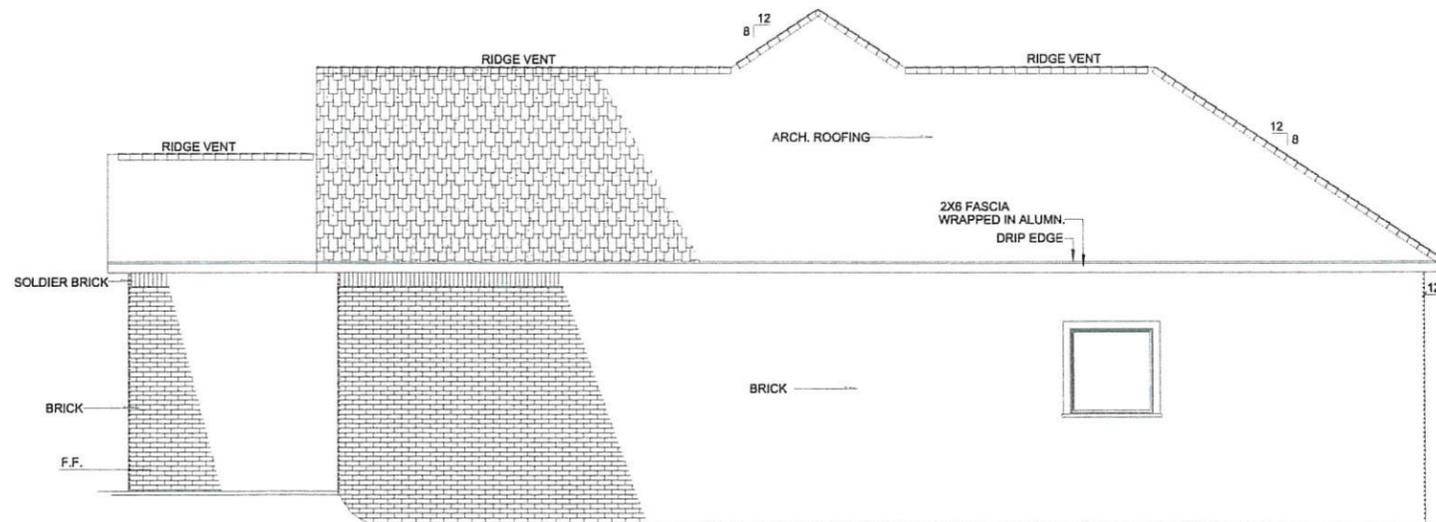
1. PROVIDE R-19 BATT INSULATION IN 2X6 WALLS, R-13 IN 2X4 WALLS, MINIMUM R-38 INSULATION IN FLAT CEILINGS AND R-38 MINIMUM BLANKET INSULATION IN VAULTED CEILINGS, ALLOW 1/2" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, FACE FOIL DOWN TO WARM SIDE.
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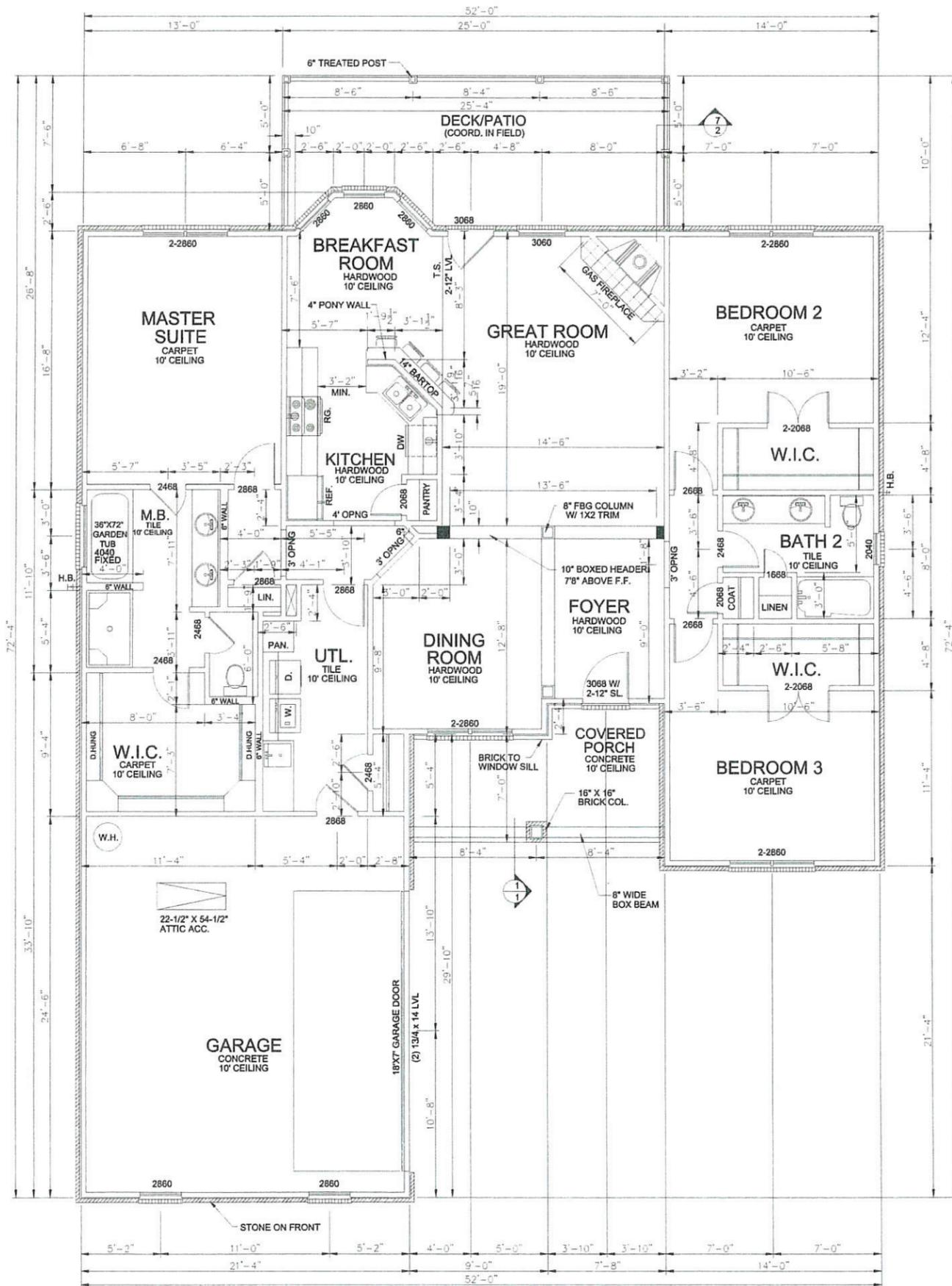
COOPER  
HOMES

Contractor Information:  
CCH  
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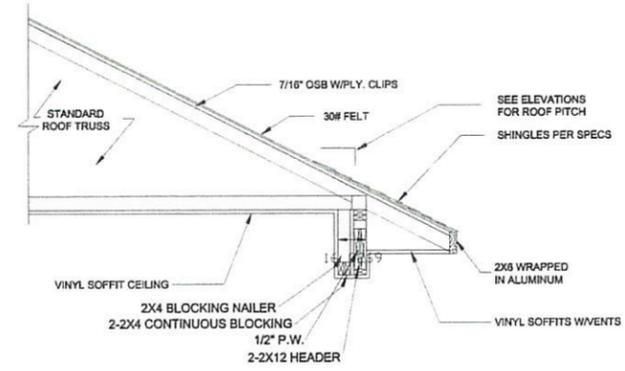
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Springdale, Arkansas 72764  
Call (479) 530-7424  
e-mail - cadesign@cox.net

Drawing Number  
CAD-6003  
Sheet Number  
3 of 3



**FLOOR PLAN NOTES:**

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2. WINDOW SIZES INDICATED ON PLANS ARE CALL SIZE ONLY. SEE MANUFACTURERS INSTALLATION GUIDE FOR ROUGH OPENING. REFER TO PLANS AND EXTERIOR ELEVATIONS FOR WINDOW TYPES.
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5. CONTRACTOR SHALL FIELD VERIFY ALL CABINET DIMENSIONS BEFORE FABRICATION.
6. BEDROOM WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENING OF 5.7 SQ.FT., A MINIMUM NET CLEAR OPENABLE WIDTH OF 20", A MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND HAVE A MAXIMUM FINISH SILL HEIGHT OF 43" FROM FINISH FLOOR.
7. ALL GLASS LOCATED WITHIN 18" OF FLOOR, 12" OF A DOOR OR LOCATED WITHIN 60" OF FLOOR AT BATHTUBS, WHIRLPOOLS, SHOWERS, SAUNA, STEAM ROOMS OR HOT TUBS SHALL BE TEMPERED.
8. ATTIC HVAC UNITS SHALL BE LOCATED WITHIN 20' OF ITS SERVICE OPENING. RETURN AIR GRILLES SHALL NOT BE LOCATED WITHIN 10 FEET OF A GAS FIRED APPLIANCE OR KITCHEN RANGE.
9. ALL BATH AND TOILET AREA WALLS SHALL HAVE WATER RESISTANT GYPSUM BOARD.



**PLUMBING NOTES:**

1. PLUMBING SHALL MEET ALL LOCAL CODES.
2. PROVIDE DRAIN PAN FOR ANY WATER HEATER, EXCEPT IN A CRAWL SPACE.
3. PROVIDE INSIDE MAIN WATER CUT-OFF.
4. NO I-JOISTS ARE CUT IN TO.

**INSULATION NOTES:**

1. PROVIDE INSULATION Baffles/BARRIERS AT EAVE VENTS BETWEEN RAFTERS/TRUSSES.
2. PROVIDED R-19 BATT INSULATION IN 2X6 WALLS, R-13 IN 2X4 WALLS, MINIMUM R-38 INSULATION IN FLAT CEILINGS AND R-38 MINIMUM BLANKET INSULATION IN VAULTED CEILINGS. ALLOW 1/2" MINIMUM AIRSPACE BETWEEN SHEATHING AND INSULATION, FACE PAPER DOWN TO WARM SIDE.
3. INSTALL SIDE WALL AND CEILING INSULATION IN CONTINUOUS BLANKETS WITHOUT HOLES FOR ELECTRICAL BOXES, LIGHT FIXTURES OR HEATING DUCTWORK. SEAL ALL OPENINGS IN EXTERIOR WALL CONSTRUCTION.
4. FLOORS OVER UNHEATED SPACE SHALL HAVE R-19 PAPER BACK INSULATION BETWEEN JOISTS.
5. HVAC DUCTS LOCATED IN UNHEATED SPACES SHALL BE INSULATED WITH R-6 OR GREATER.

**FLOOR PLAN SPECIFICATIONS**

HEAT/COOLED MAIN FLOOR SQ. FT.: 1,924 frame / 1,984 brick  
GARAGE & GOLF CART SQ. FT.: 523 frame / 546 brick

**NOTE:**

1. ALL CEILINGS TO BE 10'-0" UNLESS NOTED.
2. VERIFY ALL PLANS W/ LOCAL BUILDING CODES.
3. ALL STRUCTURAL REQUIREMENTS TO BE DETERMINED BY OTHERS.
4. HVAC TO BE IN ATTIC UNLESS NOTED OTHERWISE.

The plans have been created by the Developer for use by the City of Bella Vista Planning Commission. No other person may rely upon these plans. These plans may not be copied or reproduced, in part or in whole in any form or by any method, without express written consent of the Developer.

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**CUSTOMER / CONTRACTOR NOTE**

These drawings depict dimensional references and/or building elevations for design intent only. The CUSTOMER is responsible for coordinating these drawings with the building contractor and related trades for compliance with building codes and structural design.

PRELIMINARY	REV.#	DATE
		11/14/15

903 N. 47th Street  
Rogers, Arkansas 72756  
800-648-6401

**COOPER**  
HOMES

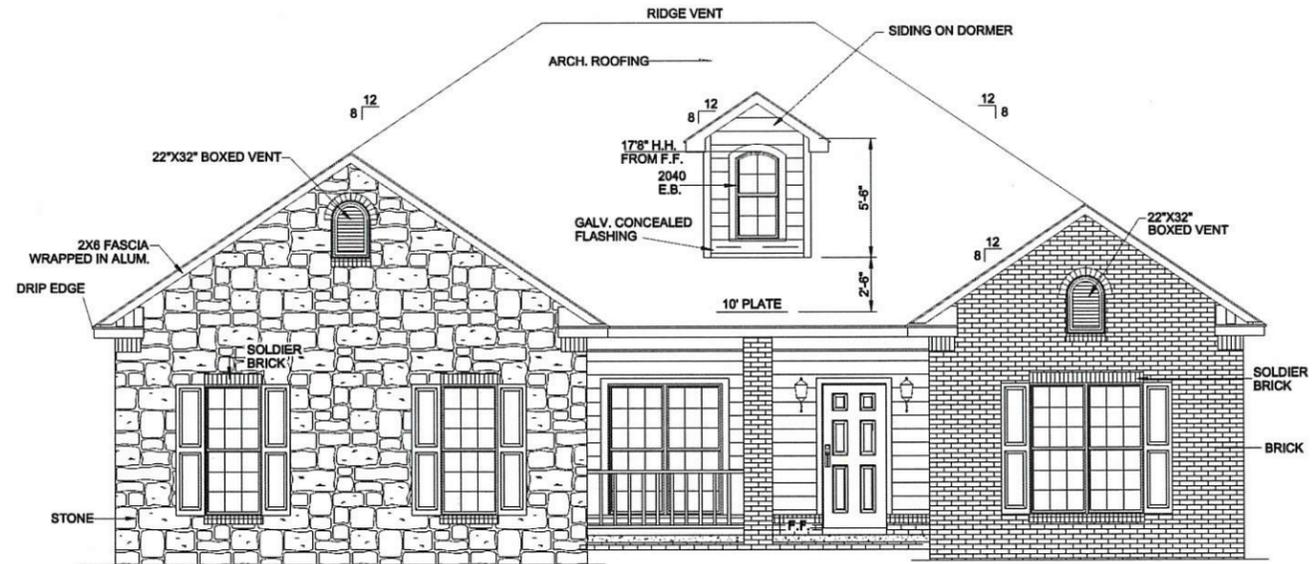
Contractor Information:  
**COOPER**  
Cooper Custom Homes

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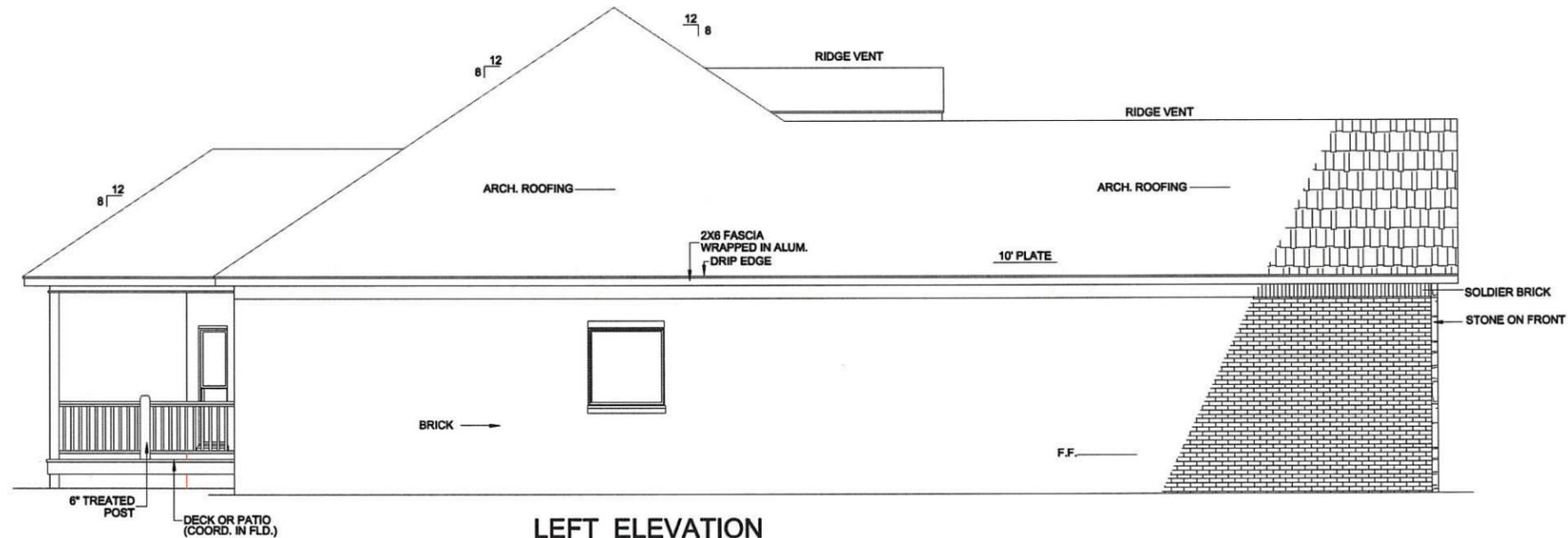
Project Information:  
Floor Plan  
Plan Name:  
"The Grandview"

**CADESIGN**  
Drafting Service, Inc.  
2049 Reed Avenue  
Springdale, Arkansas 72764  
Call (479) 530-7424  
e-mail - codesign@cov.net

Drawing Number  
**CAD-6003**  
Sheet Number  
1 of 3



**FRONT ELEVATION**



**LEFT ELEVATION**

**ELEVATION NOTES:**

1. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE.

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Contractor Information:  
**COOPER**  
Conner Custom Homes  
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Project Information:  
Exterior Elevations  
Plan Name:  
"The Grandview"

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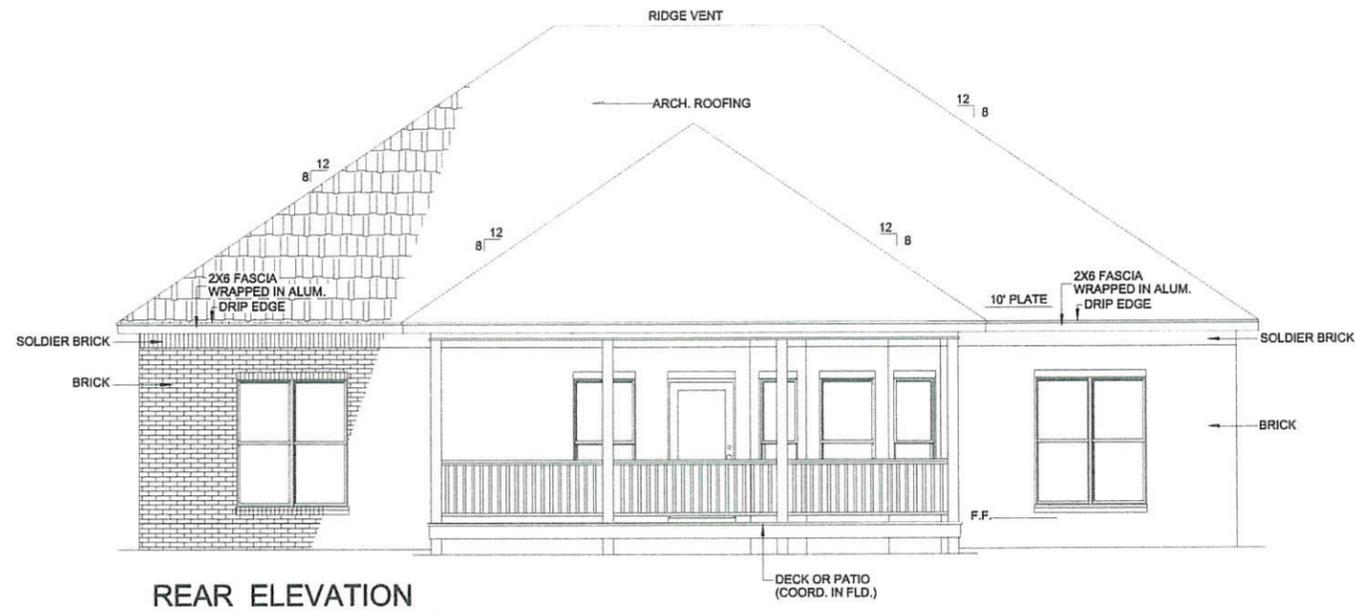
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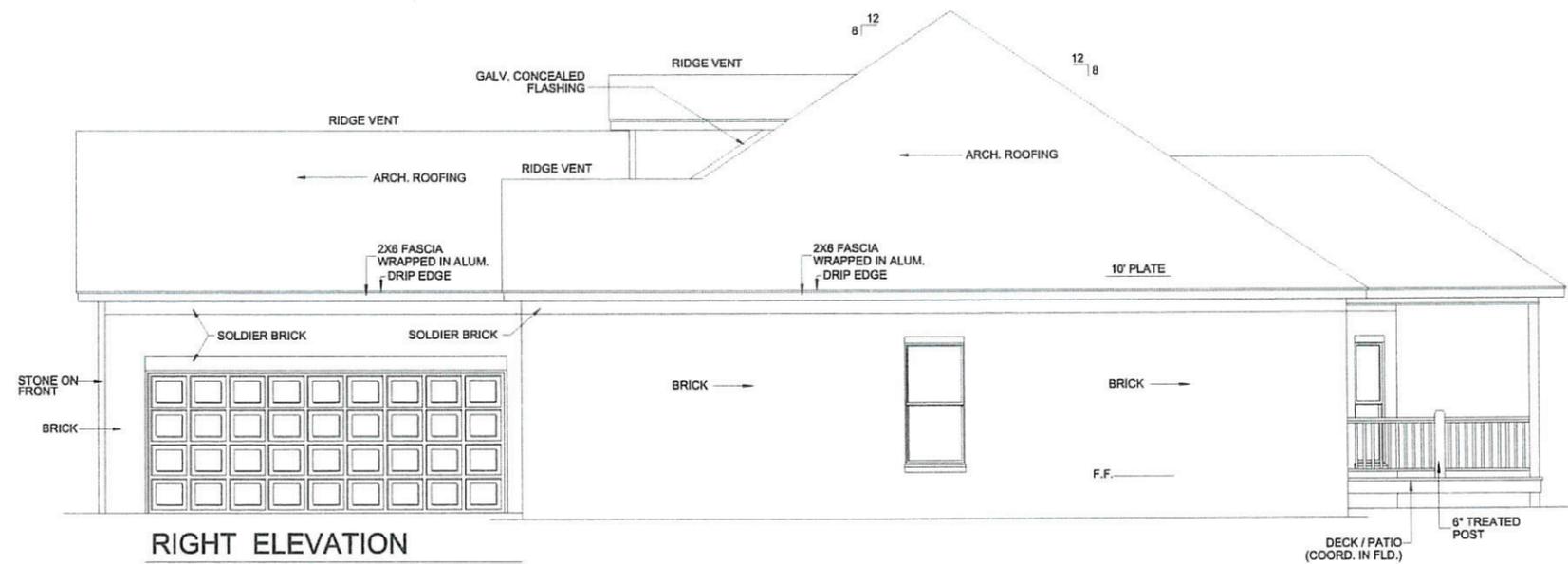
Drawing Number  
**CAD-6003**  
Sheet Number  
**2 of 3**

**ELEVATION NOTES:**

1. PLUMBING AND HVAC VENTS SHALL BE GROUPED IN ATTIC TO LIMIT ROOF PENETRATIONS AND TO BE LOCATED AWAY FROM PUBLIC VIEW, I.E. AT THE REAR OF THE HOUSE.



**REAR ELEVATION**



**RIGHT ELEVATION**

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HOMES

Contractor Information:  
**COCHI**  
Comer Custom Homes  
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Project Information:  
Exterior Elevations  
Plan Name:  
"The Grandview"

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Springdale, Arkansas 72764  
Cell (479) 530-7424  
e-mail - cadesign@cox.net

Drawing Number  
CAD-6003

Sheet Number  
3 of 3

**ORDINANCE NO. 2016- \_\_**

**City of Bella Vista, Arkansas**

**AN ORDINANCE AMENDING THE CITY OF BELLA VISTA ZONING ORDINANCE AND MAP BY REZONING CERTAIN LANDS COMMONLY KNOWN AS BENTON COUNTY PARCELS 16-70216-002 AND 16-70226-001 FROM R-1 (RESIDENTIAL SINGLE FAMILY) AND A PORTION OF BENTON COUNTY PARCEL 16-70222-000 FROM P-1 (OPEN SPACE) TO PZD (PLANNED ZONING DISTRICT) FOR THE COUNTRY CLUB VILLAS DEVELOPMENT, AND FOR OTHER PURPOSES**

---

**WHEREAS**, pursuant to the provisions of the City of Bella Vista Zoning Ordinances, the City Council has found that certain hereinafter described lands are better suited for PZD (Planned Zoning District) than R-1 (Residential Single Family) or P-1 (Open Space) zoning; and

**WHEREAS**, the City Council has determined that the public interest and welfare will be enhanced by the requested rezoning; and

**WHEREAS**, the City of Bella Vista Planning Commission conducted a public hearing on January 11, 2016, to hear all interested parties and subsequently recommended approval of the rezoning request on February 8, 2016.

**NOW, THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA, ARKANSAS:**

**Section 1:** That the City of Bella Vista Zoning Ordinances and Map should be amended as provided herein for the Country Club Villas Planned Zoning District.

**Section 2:** That the following land hereinafter described should be zoned PZD-PA-3 and that said land, located in the City of Bella Vista, is described as follows:

A portion of Area No. 2, of Bella Vista Golf Course Subdivision, Bella Vista, Benton County, Arkansas, as filed in Plat L, Page 157 being described more particularly by metes and bounds as follows:

COMMENCING at the Southeast corner of Section 22, Township 21 North, Range 31 West; THENCE North 00° 00' 00" East a distance of 1,992.78 feet; THENCE North 90° 00' 00" West a distance of 47.38 feet to the Southwest corner of Lot 23 of said subdivision and the POINT OF BEGINNING;

THENCE North 44° 23' 09" East a distance of 107.28 feet; THENCE North 38° 01' 14" West a distance of 85.32 feet; THENCE North 41° 35' 31" West a distance of 85.69 feet; THENCE North 35° 11' 37" West a distance of 83.37 feet; THENCE North 14° 51' 00" West a distance of 48.87 feet; THENCE North 17° 30' 37" East a distance of 70.80 feet; THENCE North 32° 01' 08" East a distance of 89.07 feet; THENCE North 26° 52' 56" East a distance of 96.61 feet; THENCE North 16° 09' 10" East a distance of 99.53 feet; THENCE North 04° 02' 19" East a distance of 265.18 feet; THENCE North 83° 32' 31" West a distance of 109.04 feet; THENCE along a non-tangent curve to the right, with a length of 69.83 feet, having a radius of 1,429.01 feet, through a central angle of 02°47'59", and having a chord which bears North 09°10'34" East, a distance of 69.82 feet; THENCE North 10° 34' 34" East a distance of 91.96 feet; THENCE along a non-tangent curve to the right, with a length of 53.46 feet, having a radius of 80.00 feet, through a central angle of 38° 17' 29", and having a chord which bears North 29° 43' 18" East, a distance of 52.48 feet; THENCE North 48° 52' 02" East a distance of 46.77 feet; THENCE along a tangent curve to the right, with a length of 15.91 feet, having a radius of 10.00 feet, through a central angle of 91° 10' 56", and having a chord which bears South 85° 32' 29" East, a distance of 14.29 feet; THENCE South 39° 57' 01" East a distance of 10.00 feet; THENCE North 50° 02' 59" East a distance of 2.66 feet; THENCE South 37° 33' 25" East a distance of 39.75 feet; THENCE South 55° 05' 05" West a distance of 101.20 feet; THENCE South 35° 01' 55" East a distance of 87.07 feet; THENCE South 34° 39' 35" East a distance of 85.76 feet; THENCE South 32° 07' 36" East a distance of 85.09 feet; THENCE South 20° 03' 49" East a distance of

81.73 feet; THENCE South 07° 21' 35" East a distance of 82.96 feet; THENCE South 01° 46' 12" West a distance of 83.04 feet; THENCE South 09° 23' 54" West a distance of 80.73 feet; THENCE South 17° 24' 17" West a distance of 174.30 feet; THENCE South 12° 43' 26" West a distance of 183.04 feet; THENCE South 02° 37' 04" West a distance of 95.98 feet; THENCE South 02° 32' 25" East a distance of 95.80 feet; THENCE South 07° 29' 20" East a distance of 90.56 feet; THENCE South 11° 54' 45" East a distance of 86.58 feet; THENCE North 79° 57' 27" East a distance of 105.52 feet; THENCE along a non-tangent curve to the right, with a length of 151.81 feet, having a radius of 435.18 feet, through a central angle of 19° 59' 17", and having a chord which bears South 06° 20' 28" West, a distance of 151.05 feet; THENCE along a non-tangent compound curve to the right, with a length of 7.17 feet, having a radius of 10.00 feet, through a central angle of 41° 06' 16", and having a chord which bears South 87° 16' 10" West, a distance of 7.02 feet; THENCE North 72° 10' 42" West a distance of 70.35 feet; THENCE along a tangent curve to the right, with a length of 87.82 feet, having a radius of 80.00 feet, through a central angle of 62° 53' 40", and having a chord which bears North 40° 43' 52" West, a distance of 83.47 feet; THENCE North 09° 17' 02" West a distance of 125.21 feet; THENCE along a non-tangent curve to the left, with a length of 119.09 feet, having a radius of 235.72 feet, through a central angle of 28° 56' 44", and having a chord which bears North 25° 44' 47" West, a distance of 117.82 feet to the POINT OF BEGINNING and containing 165,580 square feet or 3.80 acres, more or less.

**Section 3:** That the following land hereinafter described should be zoned PZD-PA-2 and that said land, located in the City of Bella Vista, is described as follows:

A portion of Area No. 2, of Bella Vista Golf Course Subdivision, Bella Vista, Benton County, Arkansas, as filed in Plat L, Page 157 being described more particularly by metes and bounds as follows:

COMMENCING at the Southeast corner of Section 22, Township 21 North, Range 31 West; THENCE North 00° 00' 00" East a distance of 1,315.74 feet; THENCE North 90° 00' 00" West a distance of 68.60 feet to a found 1/2" rebar (LS#352) and the POINT OF BEGINNING;

THENCE North 08° 41' 32" West a distance of 171.71 feet; THENCE South 46° 43' 52" East a distance of 98.57 feet; THENCE along a non-tangent curve to the left, with a length of 118.45 feet, having a radius of 289.05 feet, through a central angle of 23° 28' 43", and having a chord which bears South 19° 52' 58" West, a distance of 117.62 feet to a non-tangent line; THENCE North 34° 37' 18" West a distance of 10.25 feet to the POINT OF BEGINNING and containing 5,230 square feet or 0.12 acres, more or less.

AND

A portion of Area No. 2, of Bella Vista Golf Course Subdivision, Bella Vista, Benton County, Arkansas, as filed in Plat L, Page 157 being described more particularly by metes and bounds as follows:

COMMENCING at the Southeast corner of Section 22, Township 21 North, Range 31 West; THENCE North 00° 00' 00" East a distance of 1,496.88 feet; THENCE North 90° 00' 00" West a distance of 96.29 feet to the Northwest corner of Lot 1 of said subdivision and the POINT OF BEGINNING;

THENCE North 08° 41' 32" West a distance of 348.33 feet to a found 1/2" rebar with cap (LS#352); THENCE North 41° 56' 30" West a distance of 455.24 feet to a found 1/2" rebar with cap (LS#352); THENCE North 19° 11' 19" West a distance of 191.91 feet; THENCE North 47° 01' 38" East a distance of 172.33 feet; THENCE South 30° 36' 22" West a distance of 44.69 feet; THENCE South 13° 20' 03" West a distance of 109.34 feet; THENCE South 04° 21' 36" East a distance of 140.27 feet; THENCE South 41° 44' 54" East a distance of 358.28 feet; THENCE South 30° 43' 15" East a distance of 79.58 feet; THENCE South 11° 20' 17" East a distance of 208.03 feet; THENCE South 47° 10' 01" East a distance of 105.89 feet; THENCE North 42° 30' 36" East a distance of 117.23 feet; THENCE along a non-tangent curve to the left, with a length of 18.09 feet, having a radius of 120.00 feet, through a central angle of 08° 38' 17", and having a chord which bears South 67° 51' 34" East, a distance of 18.07 feet; THENCE South 72° 10' 42" East a distance of 69.02 feet; THENCE along a tangent curve to the right, with a length of 7.40 feet, having a radius of 10.00 feet, through a central angle of 42° 23' 54", and having a chord which bears South 50° 58' 45" East, a distance of 7.23 feet; THENCE along a non-tangent compound curve to the right, with a length of 106.00 feet, having a radius of 435.18 feet, through a central angle of 13° 57' 23", and having a chord

which bears South 29° 15' 12" West, a distance of 105.74 feet to a non-tangent line; THENCE North 46° 47' 00" West a distance of 100.69 feet; THENCE South 43° 13' 00" West a distance of 82.83 feet; THENCE South 43°09'51" West a distance of 76.12 feet to the POINT OF BEGINNING and containing 43,602 square feet and 1.00 acres, more or less.

AND

A portion of Area No. 2, of Bella Vista Golf Course Subdivision, Bella Vista, Benton County, Arkansas, as filed in Plat L, Page 157 being described more particularly by metes and bounds as follows:

COMMENCING at the Southeast corner of Section 22, Township 21 North, Range 31 West; THENCE North 00° 00' 00" East a distance of 2,639.62 feet; THENCE North 90° 00' 00" West a distance of 291.06 feet to the Southerly Northwest corner of Lot 15 of said subdivision and the POINT OF BEGINNING;

THENCE North 11° 06' 28" East a distance of 67.07 feet to a found 1/2" rebar with cap (LS#352); THENCE North 06° 35' 33" East a distance of 538.59 feet to a found 1/2" rebar with cap (LS#352); THENCE North 48° 51' 54" East a distance of 96.46 feet; THENCE along a non-tangent curve to the left, with a length of 81.79 feet, having a radius of 701.61 feet, through a central angle of 06° 40' 44", and having a chord which bears South 50° 42' 32" East, a distance of 81.74 feet; THENCE along a non-tangent compound curve to the right, with a length of 54.55 feet, having a radius of 376.74 feet, through a central angle of 08° 17' 47", and having a chord which bears South 49° 54' 08" East, a distance of 54.50 feet to a non-tangent line; THENCE South 40° 48' 26" West a distance of 10.23 feet; THENCE North 51° 30' 48" West a distance of 76.15 feet; THENCE South 54° 58' 20" West a distance of 94.09 feet; THENCE South 18° 17' 38" West a distance of 115.55 feet; THENCE South 08° 48' 07" West a distance of 176.26 feet; THENCE South 05° 47' 14" West a distance of 93.16 feet; THENCE South 01° 41' 02" West a distance of 84.26 feet; THENCE South 12° 48' 34" West a distance of 74.40 feet; THENCE South 30° 22' 33" West a distance of 34.45 feet to the POINT OF BEGINNING and containing 15,289 square feet and 0.35 acres, more or less.

**Section 4:** That the following land hereinafter described should be zoned PZD-PA-1 and that said land, located in the City of Bella Vista, is described as follows:

A tract of land situated in the Northeast Quarter (NE1/4) of the Southeast Quarter (SE1/4) and the Southeast Quarter (SE1/4) of the Southeast Quarter (SE1/4) and the Southeast (SE1/4) of the Northeast (NE1/4) of Section 22 and the Northwest Quarter (NW1/4) of the Southwest Quarter (SW1/4) and the Southwest (SW1/4) of the Northwest (NW1/4) of Section 23 all being in Township 21 North, Range 31 West, Benton County, Arkansas, being more particularly described as follows;

COMMENCING at the Southeast corner of said Section 22 per Plat Book L, Page 159; Thence North 00°00'00" West, a distance of 1,315.74 feet; Thence North 90°00'00" West, a distance of 68.60 feet to a found 1/2" rebar with cap (LS#352) and the POINT of BEGINNING;

Thence North 08°41'32" West, a distance of 531.57 feet to a found 1/2" rebar with cap (LS#352); Thence North 41°56'30" West, a distance of 455.24 feet to a found 1/2" rebar with cap (LS#352); Thence North 19° 11' 19" West a distance of 191.91 feet; Thence North 47° 01' 38" East a distance of 172.33 feet; Thence North 31°36'35" East a distance of 189.14 feet; Thence North 11°06'28" East a distance of 67.07 feet to a found 1/2" rebar with cap (LS#352); Thence North 06°35'33" East, a distance of 538.59 feet to a found 1/2" rebar with cap (LS#352); Thence North 48°51'54" East, crossing the West Right-of-Way of aforementioned Dogwood Drive at a distance of 96.46 feet and continuing for a total distance of 136.71 feet to the East Right-of-Way of aforementioned Dogwood Drive; Thence along said East Right-of-Way the following twelve (12) courses; (1) Along a curve to the left, with a length of 72.75 feet, having a radius of 661.61 feet, through a central angle of 06°18'01", and having a chord which bears South 50°53'53" East, a distance of 72.72 feet; (2) Along a curve to the right, with a length of 84.21 feet, having a radius of 416.74 feet, through a central angle of 11°34'42", and having a chord which bears South 48°15'39" East, a distance of 84.07 feet; (3) South 40°00'56" East, a distance of 22.35 feet; (4) South 37°33'25" East, a distance of 245.87 feet; (5) Along a curve to the right, with a length of 79.77 feet, having a radius of 432.83 feet, through a central angle of 10°33'37", and having a chord which bears South

32°16'37" East, a distance of 79.66 feet; (6) South 26°59'48" East, a distance of 30.62 feet; (7) along a curve to the right, with a length of 500.21 feet, having a radius of 633.20 feet, through a central angle of 45°15'45", and having a chord which bears South 04°21'56" East, a distance of 487.31 feet; (8) South 18°15'56" West, a distance of 149.93 feet; (9) along a curve to the left, with a length of 380.11 feet, having a radius of 722.24 feet, through a central angle of 30°09'16", and having a chord which bears South 03°11'18" West, a distance of 375.74 feet to a found 1/2" rebar with cap (LS#352); (10) South 11°53'19" East, a distance of 20.00 feet; (11) along a curve to the right, with a length of 493.22 feet, having a radius of 475.18 feet, through a central angle of 59°28'18", and having a chord which bears South 17°50'49" West, a distance of 471.38 feet; (12) along a curve to the left, with a length of 220.12 feet, having a radius of 249.05 feet, through a central angle of 50°38'20", and having a chord which bears South 22°15'44" West, a distance of 213.02 feet; Thence leaving said East Right-of-Way North 34°37'18" West, a distance of 76.14 feet to the POINT of BEGINNING and containing 877,213 square feet or 20.14 acres, more or less. LESS AND EXPECT those portions of land described in Section 2 and Section 3.

**Section 5: General Description:** The goal of the Country Club Villas PZD is to provide safe, sound, economical, and innovative housing solutions for all citizens. Specific goals of the PZD include:

- A. Provisions of adequate space within the PZD boundaries to create an appropriate mix of housing floorplans;
- B. Control of structure height to provide light and air movement through windows and between units.
- C. Promotion of desirable land use and development in order to protect district character and to conserve land and building value.
- D. Provisions of open space dedication.

**Section 6: District Purposes: Planned Zoning District – Country Club Villas.** This district is intended to create a suitable environment for development of quality detached single-family dwellings with comparative densities, and related facilities normally required for a balanced and attractive residential area while also providing dedicated open space. The Country Club Villas Planned Zoning District shall be comprised of three distinct areas:

- A. Planning Area 1 (PA-1) Residential Single Family
- B. Planning Area 2 (PA-2) Common Space
- C. Planning Area 3 (PA-3) Limited Common Space

**Section 7: Permitted Uses:** The following shall govern the type of uses for each of the Planning Areas described herein:

- A. Lands zoned Planning Area 2 (PA-2) Common Space shall be designated as common space in the Country Club Villas PZD is land devoted to conservation or recreational purposes and/or land designated to remain undeveloped, subject to the uses allowed in the following Table of Permitted Uses.
- B. Lands zoned Planning Area 3 (PA-3) Limited Common Space Requirements shall be designated as limited common space in the Country Club Villas PZD; land devoted to conservation or recreational purposes and/or land designated to remain undeveloped, subject to the uses allowed in the following Table of Permitted Uses.
- C. *Table of Permitted Uses:*

Key to Uses:	Zoning District: Country Club Villas PZD		
P = Permitted Use C = Conditional Use	PA-1, Residential Single-family	PA-2, Common Space	PA-3, Limited Common Space
TYPE OF USE	PA-1	PA-2	PA-3
Accessory building, nonresidential	P	P	P
Accessory building, residential	P		

TYPE OF USE	PA-1	PA-2	PA-3
Animal - domestic or household	P		
Detention Pond		P	P
Golf courses, clubhouse		P	
Park, public or private		P	P
Public utilities facilities		C	
Recreational facilities, outdoor		P	P
Temporary uses	P		

D. *Uses not listed.*

1. When a use is proposed that is not listed in the table of permitted uses, the mayor or his designee shall recommend the appropriate districts that the use may be located in, based on land uses that are similar in size, bulk, and traffic generation. If the applicant does not agree with this interpretation, he may appeal the interpretation to the board of zoning adjustment.
2. If the mayor or his designee fails to make an interpretation for the use in question, then the application shall be handled as a proposed amendment to this document and shall be processed in accordance with City of Bella Vista requirements.

**Section 7: Planning Area 1 (PA-1) Residential Single Family Requirements.**

A. *Bulk and area requirements.*

1. *Density.* The maximum density permitted under this district is 2.66 residential units per acre.
2. *Lot and area requirements:*

Structure Type	Minimum Lot Area (sq. ft.)	Minimum Street Frontage	Minimum Lot Width	Minimum Lot Depth	Maximum Lot Coverage
Single-family	8,000	50	50	100	40 percent

3. *Minimum setback requirements:*

- a. *Garages.* The minimum setback for front-loading garages shall be ten (10) feet from the front elevation of the principle structure and set back a minimum of thirty (30) feet from the front property line. Side-loading garages shall be set back a minimum of twenty (20) feet from any property line.
- b. *Residences:* Principle residential structures shall be set back no less than: twenty (20) feet from the front of the lot, eight (8) feet from any side lot line, and twenty (20) feet from the rear of any lot.

B. *Easements.* Where a utility easement extends beyond the required setback, the edge of the utility easement shall be the setback.

C. *Setbacks.* Building setbacks shown on the lots are also to serve as utility, access, and drainage easements.

D. *Height requirements.* The maximum height permitted in the PZD district is forty (40) feet.

E. *Parking.* Each individual unit shall provide off-street parking within a two car garage.

F. *Fencing.* Fencing in any form is not permitted within the Country Club Villas PZD.

G. *Landscaping.* Each individual unit shall provide at least two trees in the front yard and one in the back yard of each lot selected from the recommended landscaping materials listed in Municipal Code Section 109-221.

H. *Architecture.*

1. The architecture to be erected as part of this ordinance shall substantially adhere to those examples provided in Attachment "A".

2. Though all buildings and structures shall adhere to a common architectural theme or style as provided in Attachment "A", the footprint of the homes, material utilized to create the facade of the home and a number of different construction plans will be utilized so as to create a non-standardized street view.
3. No two homes shall be constructed immediately adjacent to each other that utilize the same three elements (set forth in the previous sentence) of the home immediately adjacent to it.

**Section 8: Signage.**

- A. *Permit required.* Permanent signs must obtain a sign permit as outlined in the City of Bella Vista code of ordinances section 109-46, subject to the regulations specified in this section.
- B. *Attached signage.* Permanent signage attached to or integral to a building or structure is not permitted within the PZD.
- C. *Monument signage.* Monument signage is subject to the following regulations:
  1. *Maximum height.* Monument signs shall be limited to seven (7) feet in height.
  2. *Maximum area.* Monument signs shall be limited to thirty-two (32) square feet of sign area per side.
  3. *Landscaping.* Decorative stones, crushed granite, or river stone shall be required around the sign.
- D. *Illumination.*
  1. *Source.* Signs may be illuminated from within or from an external source, but such illumination shall be in a manner which avoids glare or reflection which in any way interferes with traffic safety or infringes on neighboring residential districts.
  2. *Internal illumination.* Internally illuminated signs shall have an opaque background and translucent copy.
  3. *External illumination.* External illumination shall be selected, located, aimed and shielded so that direct illumination is focused solely on the sign face, away from adjoining properties and the public street right-of-way.
  4. *Strung lights.* Signs shall not be illuminated by a string of lights placed around the sign.
  5. *Lighting adjacent to residential areas.* Sign lighting shall not be a nuisance to adjacent neighboring residential areas.

**Section 9:** Attachment "A", consisting of twenty-two (22) pages is hereby incorporated into this ordinance as if spelled out word for word.

**Section 10: Conflicts.** Where there is more than one provision within the Planned Zoning District Master Development Plan that covers the same subject matter, the provision which is most restrictive or imposes higher standards or requirements shall govern.

**Section 11: Enforcement.** To further the mutual interests of the residents, occupants, and owners of the PZD Master Development Plan and of the public in the preservation and integrity of the Plan, the provisions of this Plan relating to the use of land, statements of commitments, development and architectural standards, and the location of common open space shall run in favor of the City of Bella Vista and shall be enforceable at law or in equity by the city without limitation on any power or regulation otherwise granted by law.

**Section 12: Reversion.** In the event that the zoning and development standards described in the planned zoning district's Zoning Description(s), Master Development Plan, and architectural elevations are not fully implemented within three (3) years, those undeveloped portions of the parcel(s) for which the Planned Zoning District was proposed shall revert to its pre-proposal zoning district.

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PASSED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2016.

Motion to adopt made by:

Ayes:

Nays:

Motion:

APPROVED:

---

Mayor Peter Christie

ATTEST:

---

Wayne Jertson  
City Clerk

APPROVED AS TO FORM:

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Jason B. Kelley, Staff Attorney

*Requested by: Mayor Christie*

*Prepared by: Christopher Suneson, PLA, Director of Community Development Services*

**CITY OF BELLA VISTA**

101 TOWN CENTER / P.O. BOX 5655  
 BELLA VISTA, ARKANSAS 72714  
 OFFICE: 479-876-1255 FAX: 479-876-1734  
 www.bellavistaar.gov



**BELLA VISTA**  
*A place to call home*

**Application for Commission or Board Appointment**

*Instructions: Fill out the entire applicant information and sign your name in the appropriate box. Unsigned applications will not be considered. Check one Board or Commission on which you are willing to serve. A resume may be attached.*

**Applicant Information**

Name: <u>Doug Farmer</u>			
Address: <u>6 Hartford Lane</u>			
City: <u>BV</u>	State: <u>AR</u>	Zip: <u>72714</u>	
Home Phone Number: <u>479 876 2465</u>		Work Phone Number: <u>479 876 2465</u>	
Cell Phone Number:		Email: <u>d.farmer@cox.net</u>	
Occupation: <u>Retired</u>		Place of Employment: <u>Retired</u>	
Number of years you lived in Bella Vista: <u>14</u>			

Board or Commission	Duties
<input checked="" type="checkbox"/> <b>Planning Commission</b>	<ul style="list-style-type: none"> <li>Reviews and approves development proposals for compliance with City Codes;</li> <li>Makes recommendations to the City Council for rezoning applications;</li> <li>Makes recommendations to the City Council on long range, City-wide plans;</li> <li>Members must be City residents and serve for a four (4) year appointment; and</li> <li>Members attend two (2) regularly scheduled meetings per month (1<sup>st</sup> Wednesday and 2<sup>nd</sup> Monday).</li> </ul>
<input type="checkbox"/> <b>Board of Zoning Adjustment</b>	<ul style="list-style-type: none"> <li>Reviews and decides appeals of staff interpretations of the Zoning Code;</li> <li>Hears and decides petitions for variances from the Zoning Code;</li> <li>Determines zoning district boundaries where discrepancies exist;</li> <li>Members must be City residents and serve for a three (3) year appointment; and</li> <li>Members attend one (1) regularly scheduled meeting per month if there is business to conduct (3<sup>rd</sup> Wednesday).</li> </ul>
<input type="checkbox"/> <b>Board of Construction Appeals</b>	<ul style="list-style-type: none"> <li>Reviews and decides appeals of staff interpretations of the technical codes related to building construction;</li> <li>Hears and decides petitions for variances from technical codes;</li> <li>Members must be City residents and serve for a three (3) year appointment; and</li> <li>Members attend one (1) scheduled meeting per month if there is business to conduct.</li> </ul>
<input type="checkbox"/> <b>Public Safety Committee</b>	<ul style="list-style-type: none"> <li>Provides guidance, education and training to the public and City regarding emergency management &amp; wildland fires issues;</li> <li>Develops community wildfire prevention plan;</li> <li>Plans for Public Safety Day &amp; FireWise Day</li> <li>Meetings held on the first Wednesday of each month</li> </ul>
<input type="checkbox"/> <b>Library Advisory Board</b>	<ul style="list-style-type: none"> <li>Oversees the operations of the Library and Appoints the Library Director;</li> <li>Members must be City residents and serve for a five (5) year term after initial appointment; and</li> <li>Meetings held at least once per calendar quarter, or more often as necessary.</li> </ul>

1. What qualifications and experience do you have that make a contribution to the Board or Commission selected?

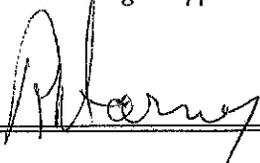
Real Estate and Business background, Six years on the City Council and 2 years on POA Board of Directors. Also two years on the POA Utilities & Environmental Committee.

2. Briefly explain your interest in being appointed to the selected Board or Commission.

I want to see Bella Vista grow and prosper and feel that this is one way I can contribute.

By my signature below, I indicate my willingness to serve on the Board or Commission checked in the box above. I also indicate my understanding of the time commitment involved. I further authorize the City to consider the foregoing statements in considering an appointment.

Signature:



Date:

2/5/2016

Please return completed applications to the City Hall offices between 8:00 am and 4:30 pm.

**BUSINESS OF THE CITY COUNCIL  
BELLA VISTA, AR**

MEETING DATE: February 22, 2016 – Regular Meeting

AGENDA ITEM:

ITEM TITLE: A Resolution Appointing Doug Farner to Position 1 on the Planning Commission

SUBMITTED BY: Christopher Suneson, PLA

SUMMARY EXPLANATION: The Planning Commission serves staged four year terms that expire on March 1<sup>st</sup> of year. This year, the term for Position 1 will expire. Mr. Doug Farner agreed to serve on the Planning Commission so that he can help contribute to Bella Vista's growth in the upcoming years.

ATTACHMENT: ORDINANCE  RESOLUTION  OTHER

RECOMMENDATION: Staff recommends approval on the resolution.

ACTION REQUESTED:

Motion to adopt

RESOLUTION NO. 2016-\_\_\_\_

**APPOINTING DOUG FARNER TO POSITION 1 ON THE PLANNING COMMISSION**

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**WHEREAS**, Municipal Code §101-3 provides for the appointment of members to the Planning Commission for four year terms that expire on March 1 of each year; and

**WHEREAS**, the terms for Position 1 on the Planning Commission expire on March 1, 2016.

**NOW THEREFORE, BE IT RESOLVED** by the City Council of Bella Vista, based on the recommendation and concurrence of the Mayor, that the following individual be appointed to the Planning Commission:

<u>Position</u>	<u>Name</u>	<u>Term Expiring March 1<sup>st</sup>:</u>
1.	Doug Farner	2020

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PASSED THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2016.

Motion to adopt made by:  
Ayes:  
Nays:  
Motion:

APPROVED:

\_\_\_\_\_  
Mayor Peter Christie

ATTEST:

\_\_\_\_\_  
Wayne Jertson  
City Clerk

APPROVED AS TO FORM:

\_\_\_\_\_  
Jason B. Kelley, Staff Attorney

*Requested by: Mayor Christie  
Prepared by: Christopher Suneson, PLA, Director of Community Development Services*

**BUSINESS OF THE CITY COUNCIL  
BELLA VISTA, AR**

MEETING DATE: February 22, 2016

AGENDA ITEM: Vehicle Purchase

ITEM TITLE: New Police Vehicles

SUBMITTED BY: Ken Farmer

SUMMARY EXPLANATION: The 2016 budget included money to buy and equip six vehicles for use by the Police Department. Five of these vehicles will be used as marked patrol cars and one will be used in CID. We are able to buy these vehicles locally at the state contract price from Superior Auto Group in Siloam Springs.

ATTACHMENT: ORDINANCE    RESOLUTION X    OTHER

RECOMMENDATION:

**RESOLUTION NO. \_\_\_\_\_**

**CITY OF BELLA VISTA, ARKANSAS**

**AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH SUPERIOR AUTO GROUP OF SILOAM SPRINGS, PURSUANT TO A STATE PROCUREMENT CONTRACT, FOR THE PURCHASE OF THREE (3) FORD INTERCEPTOR SPORT-UTILITY VEHICLES, TWO (2) DODGE CHARGER PURSUIT VEHICLES AND ONE (1) CHEVROLET EQUINOX ALL-WHEEL DRIVE VEHICLE, IN THE AMOUNT OF \$145,850.00, PLUS \$39,150.00 FOR EQUIPMENT ADD-ONS, FOR USAGE BY THE POLICE DEPARTMENT**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA, ARKANSAS:**

**SECTION 1:** The Mayor and City Clerk are hereby authorized to enter into a contract with Superior Auto Group of Siloam Springs, pursuant to a state procurement contract, for the purchase of three (3) Ford Interceptor sport-utility vehicles, two (2) Dodge Charger pursuit vehicles and one (1) Chevrolet Equinox all-wheel drive vehicle, in the amount of \$145,850.00, plus \$39,150.00 for equipment add-ons, for usage by the Police Department.

PASSED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

APPROVED:

\_\_\_\_\_  
Mayor Peter Christie

Attest:

\_\_\_\_\_  
City Clerk Wayne Jertson

Approved as to Form:

\_\_\_\_\_  
Jason B. Kelley  
Staff Attorney

Requested by Mayor Christie  
Prepared by Jason Kelley, Staff Attorney

**RESOLUTION NO. \_\_\_\_\_**

**CITY OF BELLA VISTA, ARKANSAS**

**SETTING VENDOR FEES FOR ACCESS TO THE BELLA VISTA  
FARMER'S MARKET FOR 2016**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA,  
ARKANSAS:**

**SECTION 1:** Vendor fees for access to the Bella Vista Farmer's Market for 2016 shall be as follows:

Booth Space for Entire Season: \$125.00

Booth Space for One Date: \$25.00

Vendor fees shall be paid to the City, with proof provided to the City's Farmer's Market coordinator, prior to vendor set-up.

PASSED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

APPROVED:

\_\_\_\_\_  
Mayor Peter Christie

Attest:

\_\_\_\_\_  
City Clerk Wayne Jertson

Approved as to Form:

\_\_\_\_\_  
Jason B. Kelley  
Staff Attorney

Requested by Mayor Christie  
Prepared by Jason Kelley, Staff Attorney

**BUSINESS OF THE CITY COUNCIL  
BELLA VISTA, AR**

MEETING DATE: February 22, 2016 – Regular Meeting

AGENDA ITEM:

ITEM TITLE: A Resolution Adjusting the 2016 Operating Budget for General Improvement Fund Grant Program Revenue, and For Other Purposes

SUBMITTED BY: Christopher Suneson, PLA

SUMMARY EXPLANATION: The City has been awarded \$41,000 through the Northwest Arkansas Economic Development District for the construction of the Dartmoor Hybrid Activated Crosswalk Beacon project. During the preparation of the 2016 operating budget, this income was not anticipated and was not included in general revenues. The following resolution would adjust the 2016 operating budget to increase revenues by the grant amount and increase expenses for construction of the project in Community Development Services capital construction account..

ATTACHMENT: ORDINANCE  RESOLUTION  OTHER

RECOMMENDATION: Staff recommends approval on the resolution.

ACTION REQUESTED:  
Motion to adopt

RESOLUTION NO. \_\_\_\_\_

**CITY OF BELLA VISTA, ARKANSAS**

**ADJUSTING THE 2016 OPERATING BUDGET FOR GENERAL IMPROVEMENT  
FUND GRANT PROGRAM REVENUE, AND FOR OTHER PURPOSES**

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**WHEREAS**, the City of Bella Vista made application to the Northwest Arkansas Economic Development District (NWAEDD) in December 2015 to help fund the Dartmoor HAWK Crossing project in front of Cooper Elementary; and

**WHEREAS**, on January 28, 2016, the NWAEDD awarded \$41,000 from the General Improvement Fund Grant Program to the City of Bella Vista for the Dartmoor HAWK Crossing project; and

**WHEREAS**, the 2016 operating budget did not account for this revenue.

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA, ARKANSAS:**

**Section 1:** Revenue Account 00-46801: Grants Revenue – General Improvement Funds Grant is hereby created and adjusted to \$41,000.00.

**Section 2:** The Community Development Services Department budget account 15-57650: Contracts – Capital Construction is hereby amended from \$160,000 to \$201,000, with said increase of \$41,000 from the General Improvement Funds Grant Program limited to expenditures related to the Dartmoor HAWK Crossing project.

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Passed and approved this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

Motion to adopt made by:

Ayes:

Nays:

Motion Ayes: Nays:

APPROVED:

\_\_\_\_\_  
Mayor Peter Christie

ATTEST:

\_\_\_\_\_  
Wayne Jertson

City Clerk

APPROVED AS TO FORM:

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Jason Kelley, Staff Attorney

*Prepared by: Christopher Suneson, PLA, Director of Community Development Services*

# Memorandum

February 11, 2016

To: Mayor Peter Christie and Bella Vista City Council

From: Mike Button, City of Bella Vista Street Superintendent

RE: Request for Bid, City of Bella Vista Fuel Depot

Requests for Bid were sent out to six different companies for the purpose of constructing a proposed new Fuel Depot for the City of Bella Vista. This Fuel Depot, if approved by Bella Vista City Council will be constructed at the new Street Department Facility located at 2471 Forrest Hills Blvd. The budgeted amount for this project was in the amount of \$221,000.00. Two companies have submitted bids for this project with the highest bidder being The Southern Company of NLR Inc. in the amount of \$220,790.00 and the lowest bidder being Hooten Equipment Company in the amount of \$186,760.29. In order to save dollars for this project I configured the bid specs to include City forces participating in the excavation and backfilling of the proposed fuel tank (underground tank). There will also be some additional costs associated with the overall completion of this project such as concrete work and paving around the Fuel Station, electrical and a generator back up system not included in this particular RFB.

As far as savings in fuel moving forward for the City of Bella, we currently consume approximately 50,000 gallons of "diesel fuel" and by having a Fuel Depot, I estimate a 25 cent per gallon savings (due to the fact we will be able to utilize "off road" diesel) or a \$12,500.00 annual savings for this type of fuel. As far as unleaded fuel, we currently use around 42,000 gallons annually and buying in bulk should give us a slight cut in cost per gallon for that type of fuel.

With that, I recommend that Bella Vista City Council award bid to Hooten Equipment Company in the amount of \$186,760.29 for a new Fuel Depot for the City of Bella Vista.

Respectfully Submitted,

Mike Button

City of Bella Vista Street Superintendent,



# City of Bella Vista

## STATE OF ARKANSAS

### Fuel Depot BID FORM

All cost of the RFB should be included in this section, optional features may be offered but Bella Vista cannot consider any options/prices not submitted with vendors bid, except as may be modified by an Exceptions Addendum attached hereto.

1. Package Costs: \$186,760<sup>29</sup>

ATTACH BID with detailed specifications of equipment being bid.

AUTHORIZED AGENT:

NAME: Lyndell Thomas

SIGNATURE: Lyndell Thomas

FIRM NAME: Hooten Equipment Co.

TELEPHONE: 479-756-6851 x-18

# City of Bella Vista

## STATE OF ARKANSAS

### Fuel Depot BID FORM

All cost of the RFB should be included in this section, optional features may be offered but Bella Vista cannot consider any options/prices not submitted with vendors bid, except as may be modified by an Exceptions Addendum attached hereto.

1. Package Costs: \$220,790.<sup>00</sup>

ATTACH BID with detailed specifications of equipment being bid.

AUTHORIZED AGENT:

NAME: Mark Havlik

SIGNATURE: 

FIRM NAME: The Southern Co. of NCR

TELEPHONE: 479-648-1602

**RESOLUTION NO. \_\_\_\_\_**

**CITY OF BELLA VISTA, ARKANSAS**

**AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH HOOTEN EQUIPMENT COMPANY IN THE AMOUNT OF \$186,760.29 FOR THE CONSTRUCTION OF FUEL DEPOT FACILITIES AT THE NEW STREET DEPARTMENT BUILDING**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA, ARKANSAS:**

**SECTION 1:** The Mayor and City Clerk are hereby authorized to enter into a contract with Hooten Equipment Company in the amount of \$186,760.29 for the construction of fuel depot facilities at the new Street Department building.

PASSED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

APPROVED:

\_\_\_\_\_  
Mayor Peter Christie

Attest:

\_\_\_\_\_  
City Clerk Wayne Jertson

Approved as to Form:

\_\_\_\_\_  
Jason B. Kelley  
Staff Attorney

Requested by Mayor Christie  
Prepared by Jason Kelley, Staff Attorney

# Memorandum

February 11, 2016

To: Mayor Peter Christie and Bella Vista City Council

From: Mike Button, City of Bella Vista Street Superintendent

RE: Temporary Staffing Proposal for Seasonal Street Department Personnel

Requests for Proposals for the 2016 season for Seasonal Street Department Personnel for the purpose of mowing City of Bella Vista Street rights-of ways was sent out to seven agencies. The RFP was based on four seasonal employees working approximately seven months or around 4480 man hours at a rate of pay of \$11.50 per hour plus a percentage "mark up" from the awarded Staffing Agency. 1<sup>st</sup> Employment Staffing Agency was the only agency that has presented a proposal with a percentage mark up of 29%. This is the same Agency that has provided us services for the past two seasons and their "mark up" has not increased.

With that, I would recommend that the Bella Vista City Council approve entering into a contract with 1<sup>st</sup> Employment Staffing in the amount not to exceed \$66,500.00 for the purposes of providing four Seasonal Street Department Personnel for the purpose of mowing City of Bella Vista street rights-of-ways.

Respectfully Submitted,

Mike Button

City of Bella Vista Street Superintendent,

**AGREEMENT TO PROVIDE**

**TEMPORARY STAFFING FOR SEASONAL STREET DEPARTMENT PERSONNEL**

The City of Bella Vista, Arkansas (hereinafter "City") and 1<sup>st</sup> Employment Staffing (hereinafter "Temporary Staffing Provider") on this \_\_\_\_\_ day of \_\_\_\_\_, 2016, hereby agree as follows:

In consideration of the competitive selection of 1<sup>st</sup> Employment Staffing to become the temporary staffing for seasonal street department personnel provider for the City, the Temporary Staffing Provider's promise to abide by the terms of this agreement and the terms of the Request For Proposals, the City promises to use 1<sup>st</sup> Employment Staffing as its Temporary Staffing Provider for seasonal street department personnel for the City.

Temporary Staffing Provider, agrees as follows:

1. **Agree to all Requirements** – The Temporary Staffing Provider shall fully abide by duties, specifications and requirements as stated in the City’s Request for Proposals awarded herein.

2. **Comply with its Proposal** – The Temporary Staffing Provider shall comply with all of its responses made within its successful proposal to the City.

3. **Comply with All Laws and Regulations** – The Temporary Staffing Provider shall faithfully comply with all federal and state law and regulations as well as any applicable city ordinances and regulations.

4. **Contract Time** – The initial term of this contract shall be for a period of ninety (90) days, starting with the date approved by the City. This Agreement is renewable by mutual consent, at a mutually agreed fee and period of time. Either party may terminate this Agreement with ten (10) days written notice to the other party directed to the non-terminating party’s last known address.

**WITNESS our hands this** \_\_\_\_\_ day of \_\_\_\_\_, 2016.

**1<sup>st</sup> EMPLOYMENT STAFFING**

**CITY OF BELLA VISTA, ARKANSAS**

\_\_\_\_\_  
**AUTHORIZED AGENT  
EMPLOYMENT STAFFING**

\_\_\_\_\_  
**PETER CHRISTIE, MAYOR** **1<sup>ST</sup>**

**ATTEST:** \_\_\_\_\_  
**WAYNE JERTSON, CITY CLERK**

**Address:** \_\_\_\_\_  
\_\_\_\_\_

**Address: P.O. Box 5655  
Bella Vista, AR 72715**

**Date Signed:** \_\_\_\_\_

**Date Signed:** \_\_\_\_\_

# Proposal of Services

Agency: 1<sup>st</sup> Employment Staffing

Contacts:

Jennifer Luker (479) 273-9992

Jason Daugherty (479) 717-2910

City of Bella Vista

Street Department

Attention: Mike Button

P.O. Box 5655 / 101 Town Center NE

Bella Vista, Arkansas 72714

## **Proposal 2016, Temporary Staffing For Seasonal Street Department Personnel**

1<sup>st</sup> Employment provides equal employment opportunities to all employees and applicants for employment without regard to race, color, religion, gender, sexual orientation, national origin, age, disability, marital status, amnesty, or status as a covered veteran in accordance with all federal, state and local laws. This policy applies to all terms and conditions of employment including, but not limited to, hiring, placement, promotion, termination, layoff, recall, transfer, leave of absence, compensation and training.

1<sup>st</sup> Employment expressly prohibits any form of unlawful employee harassment including that based on race, color, religion, gender, sexual orientation, national origin, age, disability or veteran status. Improper interference with the ability of 1<sup>st</sup> Employment employees to perform their expected job duties is absolutely not tolerated.



**Employment Staffing**

[www.1stemployment.net](http://www.1stemployment.net)

City of Bella Vista  
Street Department  
Mike Button  
101 Town Center NE  
Bella Vista, Arkansas 72714

Dear Mr. Button,

Thank you for the opportunity to provide a proposal of services in regards to short-term, project, screen to hire, long-term and temporary associates for your organization. We firmly believe we are able to differentiate ourselves from our competition by offering flexibility, immediate action and individualized customer service.

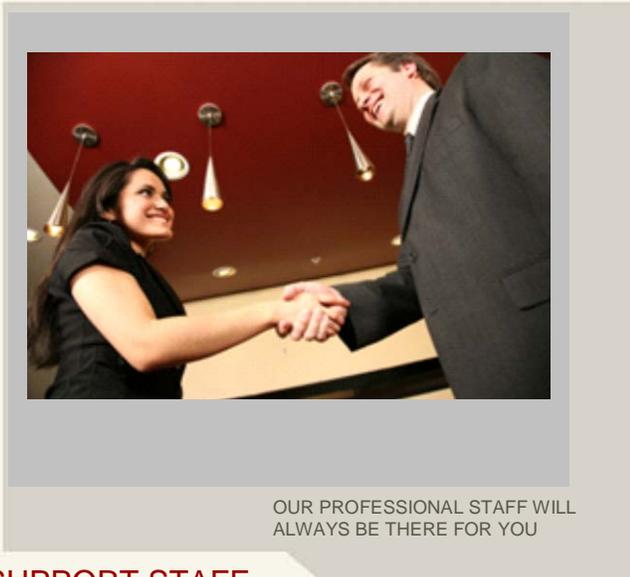
Enclosed you will find 1<sup>st</sup> Employment's proposal of services we can provide to The City of Bella Vista.

If you have any questions regarding this proposal of services or if we may be of service to you, please call me at (479) 273-9992 or call Jason Daugherty at (479) 717-2910. We will be glad to help.

Sincerely,

*Jennifer Luker*

Jennifer Luker  
Branch Manager  
1003 SE 14th Street, Suite 1  
Bentonville, AR 72712  
Email: [jluker@1stemployment.net](mailto:jluker@1stemployment.net)  
Phone: (479) 273-9992  
Fax: (479) 273-9972



## SUPPORT STAFF

- Cody Ward: Professional Recruiter
- Lori Cassidy: Staffing Specialist
- Jessica Fortune: Branch Manager –Fayetteville
- Kimerli Osbourn: Staffing Specialist
- Jessica Miller: Staffing Specialist
- Lupe Silva: Staffing Specialist
- Alison Ward: Branch Manager –Siloam Springs
- Justin Howard: Staffing Specialist
- Kelsey King: Staffing Specialist
- Estephany Varela: Staffing Specialist
- Sarah Bracey: Branch Manager –Springdale
- Dawn Hardy: Talent Acquisition
- Irene Trejo: Staffing Specialist
- Hancy Caceras: Staffing Specialist

## ACCOUNT STAFF

- **Jacqueline Rivera, PHR:** Director of Human Resources and Risk Management  

Jacqueline is a Professional in Human Resources with seven years of experience in Human Resources, nine years in Training and Development and extensive background in developing company policies and procedures. She's customer service oriented and highly organized team player with strong analytical and problem-solving skills. Her empathy and ability to connect with others let her help meet the needs of local businesses.
- **Liz Reyes:** Director of Branch Operations  

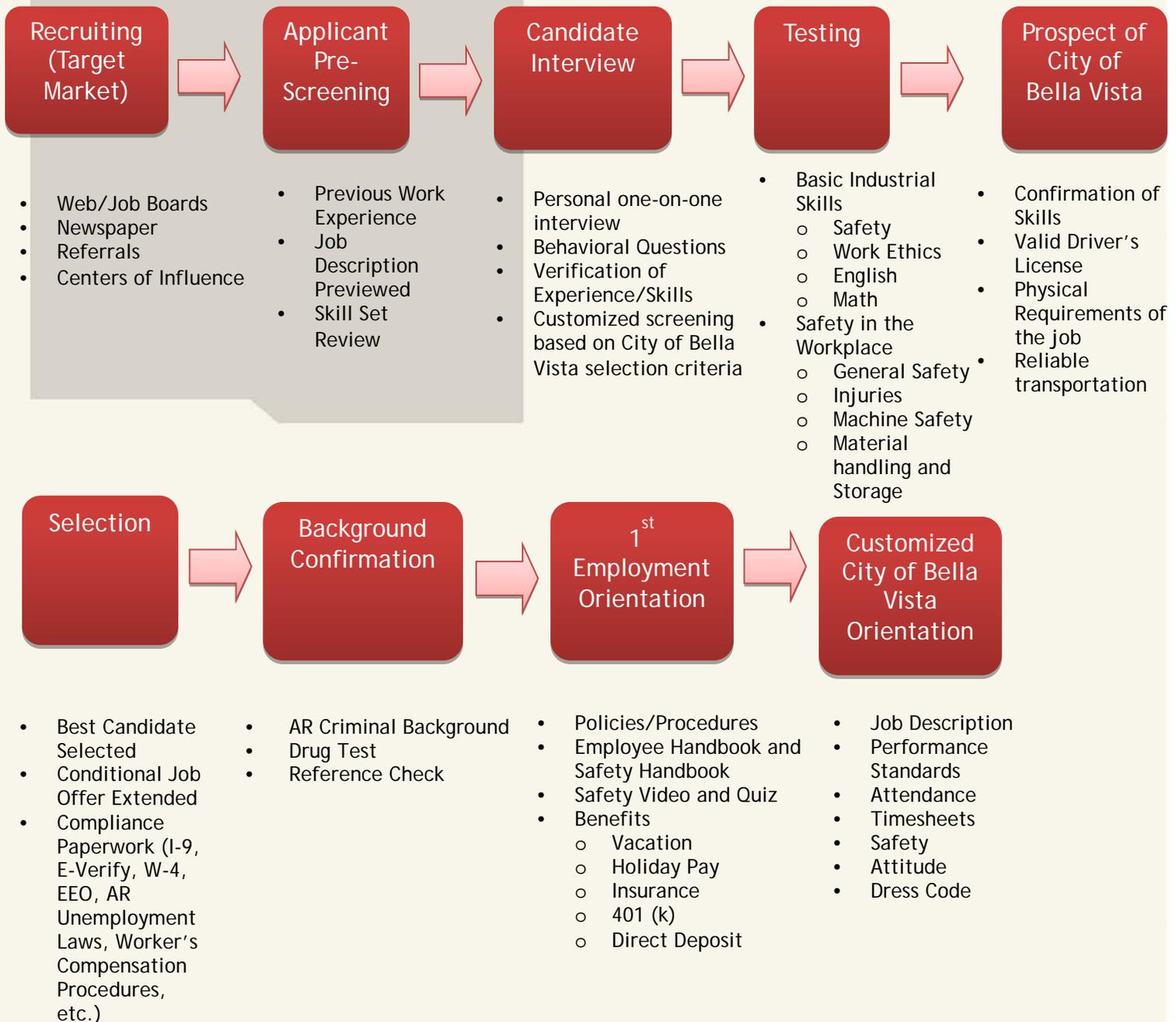
After obtaining a bachelors degree in Business Science and Administration from the University of Arkansas, Liz joined the 1<sup>st</sup> Employment team in 2011. With her background in marketing, Liz brings to the team creativity and extensive knowledge of customer service. Liz's top priority is to build trust and long term relationships with every 1<sup>st</sup> Employment customer.
- **Jennifer Luker:** Branch Manager, Bentonville  

With a successful career in banking and customer service Jennifer joined 1st Employment with two goals in mind: provide the best customer service possible and match the right employee to the right job. Jennifer has not only met her goals but every day excels on them.
- **Emily Charlton:** Staffing Specialist, Bentonville  

Emily has extensive experience with direct customer service. Her motivation is to meet customer goals. Her strong work ethics, customer service and positive attitude can only result in customer satisfaction.
- **Sandra Lopez:** Staffing Specialist, Bentonville  

Striving for excellence is Sandra's first priority. She holds years of experience in Retail and one year in Sales. Sandra's experience and customer service background makes the perfect combination in staffing.

## Hiring Process For City of Bella Vista Employees



## CLIENT SPECIFIC ORIENTATION

At 1<sup>st</sup> Employment we believe that a well oriented employee will have better chances to succeed. We specialize in creating Client Specific Orientations by listening to our customer's needs and customizing pre-employment orientations to match our customer's expectations. A well design orientation will have a direct impact in customer satisfaction.

## CITY OF BELLA VISTA ORIENTATION

1.General Duties: Duties include, but are not limited to:

- Operate a 65 horse power or more manual shift tractor with bush hog
- Apply herbicide around street signs
- Weed eat around street signs and guardrails
- Brush clearing and pick up on City Street Rights-of-Ways
- Provide general maintenance to equipment
- Follow basic instructions
- Use basic tools – rake, shovel, hand tools and small power tools
- Do general dirt work on City Street Rights-of-Ways (e.g. raking, shoveling, seeding and fertilizing)
- Flag on high traffic areas at times (e.g. near street/vehicle traffic)
- General City Street maintenance and other work duties as assigned

2. Attendance: To maintain a productive work environment, is expected that you are reliable and punctual in reporting to work. If you are unable to report to work on time or to work as scheduled you must notify 1st Employment at least 1 hour prior to your scheduled start time. Excessive tardiness and/or poor attendance may lead to disciplinary action including termination of employment.

3.Timesheets: You must sign in/out every day. Your supervisor will send the timesheet to 1st Employment every Monday before 10am.

4.Lifting: Follow proper lifting procedures; always lift with your legs, not your back. Employee must be able to lift up to 50 pounds.

5.Safety Equipment: You must wear all the personal protective equipment provided by the City of Bella Vista and 1st Employment (safety glasses, gloves, safety vest, sunscreen, hydration, ivy block, safety chaps, etc.).

6.Attitude: Employee must exhibit a professional appearance and demeanor at all times. Also must have a positive work attitude and show motivation. Must be willing to work in adverse weather conditions.

7.Dress code: Employee must show to work wearing job appropriate clothing. Any violation of this, including the wearing of open toed or open heeled shoes or items that may be deemed inappropriate, could result in being sent home or dismissal.

8.Language: Only use work appropriate language. Obscenities or offensive language will not be tolerated.

9.Cell phones: Sending/receiving text messages or making/receiving calls during work hours is prohibited.

10.Injury-Reporting Procedures: 1st Employment must be advised immediately of all information about a work related injury. The employee both, the On-Site Supervisor and the Staffing Representative. If circumstances don't allow an immediate notification, you must report the incident to 1st Employment within 24 hours of its occurrence. A 24-hour a day, seven-day a week answering service is available to take your calls.



## PROVEN RESULTS

To Whom It May Concern:

It's Simple. If you have staffing needs, then Jason and the 1<sup>st</sup> Employment team are who you should reach out to. 1<sup>st</sup> Employment goes above and beyond to make sure the candidates they select are the right people for the job. I cannot say enough good things about this group of folks! Friendly, professional, highly knowledgeable, and incredibly eager to learn about your company to find the "perfect" person for you. I can always count on 1<sup>st</sup> Employment when I have staffing needs!!!

Thank you,  
Jeremy R. Kelly  
Human Resources

### Why 1st Employment?

Because we do whatever it takes to align our solutions and deliver results that complement our customer's objectives.





## CUSTOMER SATISFACTION

To Whom It May Concern:

I would like to recommend 1st Employment Staffing as a source for your staffing needs. It is my belief that they will be able to take care of your staffing needs whatever they may be because of my past and present experience with them.

As an HR person, it is very important to be able to call at a minutes notice and know that your requests will be taken care of in an efficient and timely manner. I have found that to be true with 1st Employment Staffing. I know that I can count on their staff to supply me with just what I need in the way of personnel for the positions that I need to fill.

1st Employment Staffing has been very cooperative in performing required orientation for associates that are sent to us and thereby making things easier for our Supervisors on the production floor.

1st Employment Staffing does a very good job of following through to make us aware of any absences or problems that may arise. I have the utmost confidence in their abilities to provide us with the type of personnel that we are eager to roll over to our payroll.

If you have any questions please feel free to contact me at American Tubing, Inc. the number is 479-756-1291 Ext. 109.

Respectfully,  
Katie Rodgers  
HR Coordinator

To Whom It May Concern:

It is my pleasure to recommend 1st Employment Staffing as a source for your staffing needs. They have been a trusted, reliable and dependable staffing business partner for thirteen years and we would be hard pressed to consider any other company for our staffing needs.

Our company requires a stringent background screening process, specific assessment testing and specific reports. 1st Employment developed a plan that suites all of our needs and unique requirements. Their staff are very professional and they provide quality candidates and services that are unmatched by any other agency.

Respectfully,  
Rosie Aguilar  
Human Resources Manager  
Newly Weds Foods

# PROPOSAL OF SERVICES

PROPOSAL 2016



As the employer 1st Employment assumes responsibility for all federal and state payroll taxes (FICA, FUTA, SUTA) as well as worker's compensation coverage.

1st Employment will also provide the following services to The City of Bella Vista at no additional charge:

- On-going recruiting programs
- Customized hiring and selection process
- Customer-specific safety orientation
- Vacation & holiday pay
- Direct deposit
- 8-hour guarantee
- Continuous improvement programs

<b>Lawn Care</b>	<b>Regular Time</b>	<b>Over-Time *</b>
<b>Pay Rate</b>	<b>\$11.50</b>	<b>\$17.25</b>
<b>Mark Up</b>	<b>29%</b>	<b>29%</b>
<b>Bill Rate</b>	<b>\$14.84</b>	<b>\$22.25</b>
<b>Clerical</b>	<b>Regular Time</b>	<b>Over-Time *</b>
<b>Pay Rate</b>	<b>\$10.00-\$12.00</b>	<b>\$15.00-\$18.00</b>
<b>Mark Up</b>	<b>39%</b>	<b>39%</b>
<b>Bill Rate</b>	<b>\$13.90-\$16.68</b>	<b>\$20.85-\$25.02</b>

\*Over-time pay and bill rates apply to employees exceeding 40 hours in a work week.

- All rates include safety equipment.
- Rates will include all pre-employment requirements as specified by The City of Bella Vista.
- Conversion hours = 320

**RESOLUTION NO. \_\_\_\_\_**

**CITY OF BELLA VISTA, ARKANSAS**

**AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH 1<sup>ST</sup> EMPLOYMENT STAFFING IN AN AMOUNT NOT TO EXCEED \$66,500.00 TO PROVIDE PERSONNEL FOR SEASONAL RIGHT-OF-WAY MOWING**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA, ARKANSAS:**

**SECTION 1:** The Mayor and City Clerk are hereby authorized to enter into a contract with 1<sup>st</sup> Employment Staffing in an amount not to exceed \$66,500.00 to provide personnel for seasonal right-of-way mowing.

PASSED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

APPROVED:

\_\_\_\_\_  
Mayor Peter Christie

Attest:

\_\_\_\_\_  
City Clerk Wayne Jertson

Approved as to Form:

\_\_\_\_\_  
Jason B. Kelley  
Staff Attorney

Requested by Mayor Christie  
Prepared by Jason Kelley, Staff Attorney

# Memorandum

February 11, 2016

To: Mayor Peter Christie and Bella Vista City Council

From: Mike Button, City of Bella Vista Street Superintendent

RE: Request for Bid, Asphalt Roller

Requests for Bid were sent out to six different vendors for the purchase of a new production model "Asphalt Roller" for the Street Department. Three of those vendors submitted bids as follows: Rigs Cat in the amount of \$37,487.00, Victor L. Phillips Company in the amount of \$35,960.00 and the low bidder, Scott Equipment Company in the amount of \$32,789.00. The budget amount for this item was \$37,000.00

All three vendors met specs, and all these machines will serve the purpose needed for the Bella Vista Street Department. With that being said, I recommend that Bella Vista City Council award bid to Scott Equipment Company (the lowest bidder) in the amount of \$32,789.00 for the purchase of a new production model "Asphalt Roller".

Respectfully Submitted,

Mike Button

City of Bella Vista Street Superintendent,

# City of Bella Vista

## STATE OF ARKANSAS

### 3 Ton Tandem Vibratory Asphalt Roller BID FORM

All cost of the RFB should be included in this section, optional features may be offered but Bella Vista cannot consider any options/prices not submitted with vendors bid, except as may be modified by an Exceptions Addendum attached hereto.

1. Package Costs: \$ 37,487

ATTACH BID with detailed specifications of equipment being bid.

AUTHORIZED AGENT:

NAME: Steve Jetton

SIGNATURE: 

FIRM NAME: RIBBS CAT

TELEPHONE: (479) 200, 3880

\* Exception: Delivery Date

# City of Bella Vista

## STATE OF ARKANSAS

### 3 Ton Tandem Vibratory Asphalt Roller BID FORM

All cost of the RFB should be included in this section, optional features may be offered but Bella Vista cannot consider any options/prices not submitted with vendors bid, except as may be modified by an Exceptions Addendum attached hereto.

1. Package Costs: \$35,960.00

ATTACH BID with detailed specifications of equipment being bid.

AUTHORIZED AGENT:

NAME: Ryan Brock AR Sales Territory

SIGNATURE: 

FIRM NAME: The Victor L Phillips Company

TELEPHONE: 479-650-9722

# City of Bella Vista

## STATE OF ARKANSAS

### 3 Ton Tandem Vibratory Asphalt Roller BID FORM

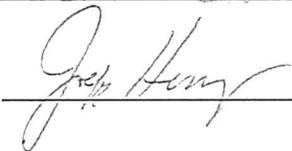
All cost of the RFB should be included in this section, optional features may be offered but Bella Vista cannot consider any options/prices not submitted with vendors bid, except as may be modified by an Exceptions Addendum attached hereto.

1. Package Costs: \$ 32,789.00

ATTACH BID with detailed specifications of equipment being bid.

AUTHORIZED AGENT:

NAME: JEFF HENRY

SIGNATURE: 

FIRM NAME: SCOTT EQUIPMENT COMPANY

TELEPHONE: 501-515-3863

**RESOLUTION NO. \_\_\_\_\_**

**CITY OF BELLA VISTA, ARKANSAS**

**AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH SCOTT EQUIPMENT COMPANY IN THE AMOUNT OF \$32,789.00 FOR THE PURCHASE OF A NEW ASPHALT ROLLER**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA, ARKANSAS:**

**SECTION 1:** The Mayor and City Clerk are hereby authorized to enter into a contract with Scott Equipment Company in the amount of \$32,789.00 for the purchase of a new asphalt roller.

PASSED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

APPROVED:

\_\_\_\_\_  
Mayor Peter Christie

Attest:

\_\_\_\_\_  
City Clerk Wayne Jertson

Approved as to Form:

\_\_\_\_\_  
Jason B. Kelley  
Staff Attorney

Requested by Mayor Christie  
Prepared by Jason Kelley, Staff Attorney

# Memorandum

February 11, 2016

To: Mayor Peter Christie and Bella Vista City Council

From: Mike Button, City of Bella Vista Street Superintendent

RE: Request for Bid, New Street Department Facility Furnishings

Requests for Bid were sent out to two different vendors for the purchase of furnishings for the New Street Department Facility. Four bids were received, three of which came from Moser's consisting of different grades of furniture. Their bid was as follows: Moser Bid 1 in the amount of \$30,555.46 (this included some additional items above and beyond their Bid 2), Moser Bid 2 in the amount of \$29,039.49 (this bid adhered to our specs that simply stated a mid-range quality of furniture acceptable to a public City building), Moser Bid 3 in the amount of \$18,380.82 (this is a lower end quality furniture produced in Shanghai China). Admiral Express presented a bid amount of \$27,650.68. Budget amount for Street Department Facility furnishings was in the amount of \$35,000.00; this was to include window treatments as well.

In reviewing Moser's Bid 2, verses Admiral Express bid, both are equal in quality, each vendor had small differences in number of pieces and other slight differences etc. but overall Admiral Express has the low bottom line bid.

With that being said, I recommend that Bella Vista City Council award bid to Admiral Express in an amount not exceed \$28,000 for new furnishings for the Bella Vista Street Department Facility.

Respectfully Submitted,

Mike Button

City of Bella Vista Street Superintendent,

# City of Bella Vista

## STATE OF ARKANSAS

### Street Department Furnishings

### BID FORM

All cost of the RFB should be included in this section, optional features may be offered but Bella Vista cannot consider any options/prices not submitted with vendors bid, except as may be modified by an Exceptions Addendum attached hereto.

1. Package Costs: \$29,039.49

ATTACH BID with detailed specifications of equipment being bid.

AUTHORIZED AGENT:

NAME: Ashley Shumaker

SIGNATURE: Ashley Shumaker

FIRM NAME: Mose Corporation

TELEPHONE: 479-636-3481

# City of Bella Vista

## STATE OF ARKANSAS

### Street Department Furnishings

### BID FORM

All cost of the RFB should be included in this section, optional features may be offered but Bella Vista cannot consider any options/prices not submitted with vendors bid, except as may be modified by an Exceptions Addendum attached hereto.

1. Package Costs: \$ 30,555.46

ATTACH BID with detailed specifications of equipment being bid.

AUTHORIZED AGENT:

NAME: Ashley Shumaker

SIGNATURE: Ashley Shumaker

FIRM NAME: Moser Corporation

TELEPHONE: 479-636-3481

# City of Bella Vista

## STATE OF ARKANSAS

### Street Department Furnishings

#### BID FORM

All cost of the RFB should be included in this section, optional features may be offered but Bella Vista cannot consider any options/prices not submitted with vendors bid, except as may be modified by an Exceptions Addendum attached hereto.

1. Package Costs: \$18,380.00

ATTACH BID with detailed specifications of equipment being bid.

AUTHORIZED AGENT:

NAME: Ashley Shumaker

SIGNATURE: Ashley Shumaker

FIRM NAME: Moser Corporation

TELEPHONE: 479-636-3481



**RESOLUTION NO. \_\_\_\_\_**

**CITY OF BELLA VISTA, ARKANSAS**

**AUTHORIZING THE MAYOR AND CITY CLERK TO ENTER INTO A CONTRACT WITH ADMIRAL EXPRESS IN AN AMOUNT NOT TO EXCEED \$28,000.00 FOR THE PURCHASE OF FURNITURE FOR THE NEW STREET DEPARTMENT BUILDING**

**BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF BELLA VISTA, ARKANSAS:**

**SECTION 1:** The Mayor and City Clerk are hereby authorized to enter into a contract with Admiral Express in an amount not to exceed \$28,000.00 for the purchase of furniture for the new Street Department building.

PASSED THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2016.

APPROVED:

\_\_\_\_\_  
Mayor Peter Christie

Attest:

\_\_\_\_\_  
City Clerk Wayne Jertson

Approved as to Form:

\_\_\_\_\_  
Jason B. Kelley  
Staff Attorney

Requested by Mayor Christie  
Prepared by Jason Kelley, Staff Attorney